2023 SAUK COUNTY LAND RESOURCES & ENVIRONMENT APPLICATION FOR PERMITS 505 Broadway, Baraboo, WI 53913, Phone: 608/355/3245 Fax: 608/355/4440								Date Reviewed Reviewed by:	EA CUP/CUP: BOA #:	State #: Fees:	Sanitary:	County ID: Land Use	COUNTY USE ONLY
SECTION 1: LANDOV		Date Issued:	iewe d by:			e	₩ <u></u>	Y US					
Land Owner:							I			I	1 1	I	ЭЕ OI
Mailing Address:													NLY
City:	State:		7	Zip:									
Phone:	Email:												
*All information on this form could be	•												
SECTION 2: PROPER	TY DESCRIPTION	<u></u> >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	*****	*****	*****								
Tax Parcel#													
Town of:			<u>1/4,</u>	<u> </u> 1⁄4, Secti	on, T	N, I	<u>۲</u>	E	Lot Siz	e (A	cres)	:	
FEE AMOUNTS (please	e refer to attached fe	e table	e for des	scription & to de	etermine fees)								
Land Use				-		-		-			_Gr	oundv	vater
	Fire #				DUE Make check					RE			
Land	d Use Fees are tripled, an				ing construction or us e Nonrefundable	e prior to ol	btainin	g a per	mit.				
SECTION 3: LAND US	SE DESCRIPTION>					·»»»»»»»»»	»»»»»»	·»»»»»	»»»»»»»	»»»»	»»»»	·»»»»»	
	IGNED & DATED PLOT PLA	AN, ERO	SION CO	NTROL PLANS AND I	FLOOR PLANS REQUIR	ED ON 8½ X	11 PAP	ER ON	X				
Owner/Self Contractor:					Phone:								
Mailing Address:													
Describe all to be permitte													
Use of structure(s):													
Mail permit(s) to:0													
				, to be prened up		000			0				
Structure Ty	vpe:		e Size	Setback Side	Setback to	Setba ROW		S	etback (Septic	0		tback .H.W.	
)por	(W/L	./H)	Lot Lines	Rear Lot Line	Road		t	ank/fiel	d	(0	rdinary H Vater Mar	ligh
		/	/	/					/				
		/	/	/					/				
		/	/	/					/				
					1								
Setback Survey Require Section 7.153(7). (See A		ired w	hen an	y part of the per	mitted structure is	located v	vithin	10 fe	et of ar	y set	back	, per	
SECTION 4: DRIVEW	AV PERMIT												
A driveway permit from S use/sanitary permit applic	Sauk County Highwa	y Dep	artmen	t, Wisconsin DC	OT and/or the local								
	1												
Driveway permiDriveway permi	t/approval is attached t/approval is attached	1 from	the Sa	wn or: k County High	way or State of W	isconsin l	DOT:						
SECTION 5: PLUMBI	NG DESCRIPTION	<u> </u>	*****	·····	»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»»	*****	·>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	»»»»»	*****	·>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	****	»»»»»»	• >

Septic Installer:		Li	icense:	Phone:	
Email:		🗆 🗖 New 🗅 Rep	lacement 🛛 Reco	nnection	
System Type: Conventional	🗖 At Grade	□ Mound □ A+4/Mound	Holding Tank	Pre-Treatment	
Other:			-		

System Type:	Setback to Structures(s)	Setback Side Lot Lines	Setback to Rear Lot Line	Setback R.O.W of Road	Setback to O.H.W.M.	Setback to Well
Septic Tank	/	/				
Septic Field	/	/				

For Office Use Only		Database:	Dat	e Posted:	
Fire# Assigned:	Clerk:	FireDst:	Ambdst:	Firewrd:	PO:

An erosion control plan and/or engineered stormwater management plan may be required pursuant to Chapter 8 Shoreland Protection Ordinance or Chapter 51 Sauk County Erosion Control and Stormwater Management Ordinance and based on project location and amount of land disturbed. Check the following:

- The project will disturb over 4,000 square feet not associated with the construction of a one-or two-family dwelling.
- The project will result in the excavation or filling, or a combination that affects 400 cubic yards or more.

If one or more of the standards above are met, an erosion control plan/permit is required. See Appendix B.

- □ The project will disturb 1-acre or more.
- □ The project will result in a cumulative addition of 20,000 square feet of impervious surface to the site.

If one or both standards above are met, an engineered stormwater plan/permit and erosion control plan/permit are required.

D The project is located within 300 feet of a navigable lake, pond, or waterway.

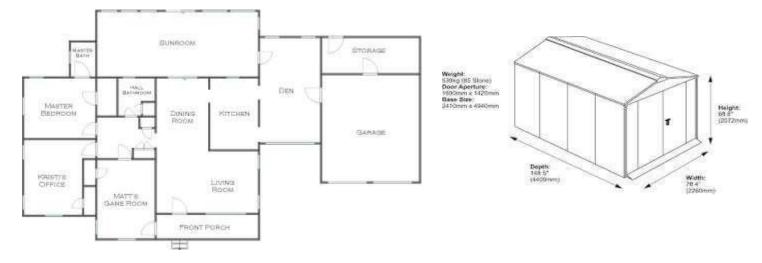
Verify with Sauk County LRE for project requirements located within 300 feet of a navigable body of water.

□ Worksheet No. 1: Impervious Surface Area Calculation Form

□ Shoreland Protection - Impervious Surface Affidavit Required for Recording. An affidavit, plans and fees attached for recording with the Register of Deeds.

Sample Floor Plan:

Sample Dimensions:



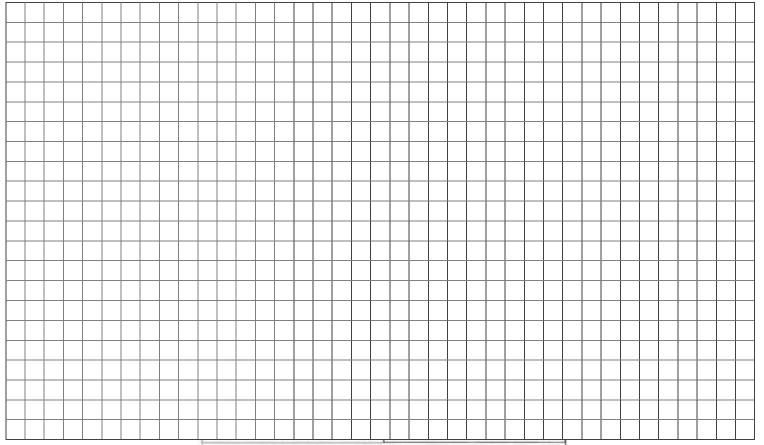
Property owners are responsible for properly identifying all structures, lot lines and easements. In addition, all permanent land features; public roads, wells, navigable water, wetlands, floodplain, drainage ways, rock outcrops and steep slopes shall be clearly identified on all plot plans. <u>All Fire number information must be shown on a Plot Plan</u>. Sauk County mapping site: <u>https://gis.co.sauk.wi.us/ZoningiSite/</u>

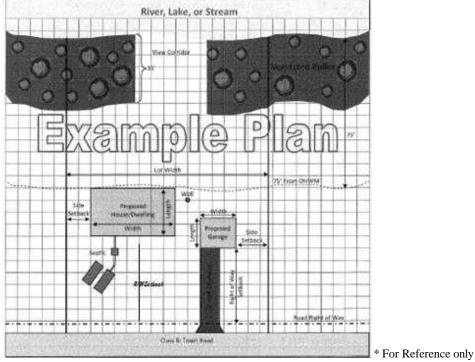
The plot plan shall include a north arrow, be drawn to scale and with dimensions shown and be legible. If the above information is not shown, your entire permit application package will be denied, and your permit review fees are not refundable.

- □ Lot line/boundaries of the parcel/lot
- □ Location of existing road/road right of way
- □ Location of easements
- □ Location of proposed/existing well

- Location of proposed structure(s)Location of navigable water
- Location of proposed/existing septic tank/field
 Location of proposed/existing driveway
- □ North arrow & scale

Setback distances to all items on this list detailed on map and represented in Section 3 of permit application





Upon signing this document, I take the full responsibility to obtain all necessary permits, from all appropriate <u>Federal, State,</u> <u>County and/or Town governmental units.</u> I also understand that I MUST receive a Sauk County permit prior to receiving a building permit from my local Town.

- A) I hereby certify that all information, attached plot plan and floor plans are true and correct. I understand that no construction, including but not limited to the pouring of a foundation or basement or the construction or alteration of any other structure may occur before the issuance of all necessary permits and that if building does occur before that time, I am subject to penalty fees in addition to my land use and/or sanitary fee, citations to be paid to Sauk County Clerk of Courts, and/or removal of the non-permitted structure(s).
- B) I will allow representatives from the Sauk County Land Resources & Environment Department to access my property to inspect the project's construction, operation and/or maintenance.
- C) The permit card must be posted on-site <u>prior</u> to starting any construction. If proper posting is not done, the property owner may be found in violation and subject to citations.
- D) The issuance of a land use permit shall not be deemed or construed to be a permit for, or an approval of, any violation of any of the regulations of the Sauk County Code of Ordinances.
- E) Pursuant to §59.691(3) Stats, the applicant must sign below to acknowledge the receipt of the following: You are responsible for complying with State and federal laws concerning construction near or on wetlands, lakes and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources Wetlands Identification web page or contact a DNR Service Center.

WI DNR Wetlands Identification web page: <u>https://dnr.wi.gov/topic/wetlands/identification.html</u> WI DNR Waterway & Wetland Permits web page: <u>https://dnr.wi.gov/topic/waterways/</u> WI DNR Service Center Link: <u>https://dnr.wi.gov/Contact/SSbyRegion.html</u>

- F) The undersigned hereby applies for a permit to do work herein described. The undersigned agrees that all work will be done in accordance with the Sauk County Zoning, Private Septic, Floodplain and Shoreland-Wetland Protection Ordinances, and with all laws of the State of Wisconsin, applicable to said premise.
- G) Applicants are solely responsible for submitting completed applications and providing any additional information requested by the Land Resources & Environment Department necessary to complete review of the application. Failure of an applicant, agent or contractor to submit a completed application, or respond to a request of the Land Resources & Environment Department for additional information within 60 days of the initial request, may result in the denial of the permit application.

Date

Signature below indicates receipt and acknowledgement of the contents of this document.

Signature of Property Owner

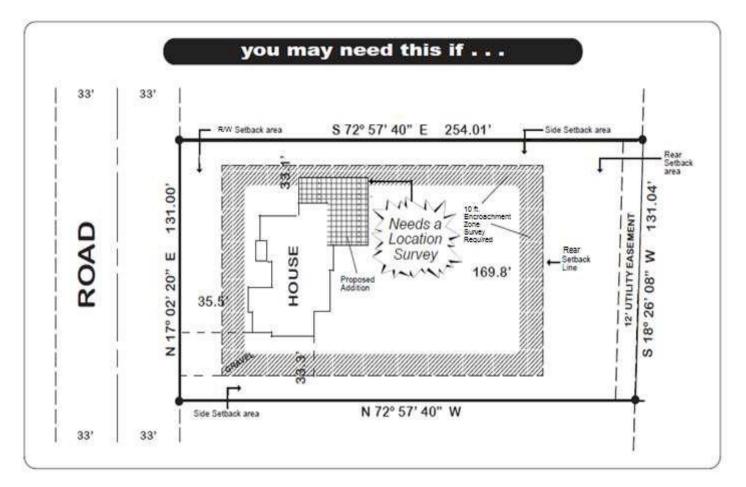
(Signature must be property owner. Applications with agent, contractor, etc., will not be accepted and returned to owner for signature.)

For Office Use (Dnly	Legal Non-Conforming					
Comments/Conditions of Permit Approval:							
Y N Structure located in Floodplain Y N Property in Wetlands	Y N Property in Shoreland						
	(Y D N D Worksheet D I <u>or</u> D II <u>or</u> U	🕻 III Required)					
Zoning District:							
□ Impervious Surface Affidavit Required for Recording An affidavit and fees attached for recording with the Register of Deeds.							
□ Setback Survey Required *A survey is required when any part of the stris due at the time the foundation for the structure is finished. Failure to follow possible enforcement action. Refer to Sec. 7.153(7)							

Appendix A:

A setback/location survey, by a licensed surveyor, is required if your construction is within 10 feet of a setback line.

- You will need to hire a surveyor to prepare a setback/location survey to verify the construction location.
- The survey shall be done at the time when the foundation(s) or basement walls are completed.
- A setback/location survey shall be submitted to the Department before continuing work on the project.
- Note: A setback/location survey may add significant cost to your project. Please contact a Wisconsin Licensed Land Surveyor.



I, the undersigned, hereby make application for a landuse/sanitary permit only for the location of and the work described in the permit application attached and certify to the accuracy of that information. I further certify I am the property owner, and I have read and understand that a setback/location survey may be a condition of this permit and will construct the project in compliance with that and any other condition of said permit. I further understand that failure to provide accurate information or to comply with any provisions of the permit renders it null and void and may result in enforcement action.

Sign Here

PRINT: Property Owner	DATE:
SIGNATURE: Property Owner	

Erosion Control Minimum Standards

Pursuant to Chapter 8 Shoreland Protection Ordinance and Chapter 51 Erosion Control and Stormwater Management Ordinance, erosion control plans may be required. Lands under the jurisdiction of Chapter 7 Sauk County Zoning Ordinance and which meet the requirements under Section 7 of this permit application, must complete and erosion control plan. Lands affected by Chapter 8 Shoreland Protection and which are in a shoreland area defined as the area within 300-ft from the ordinary high water mark of a navigable, river, stream or creek or to the landward side of the floodplain; and within 1,000-ft from the ordinary high water mark of a lake, pond or flowage must complete an erosion control plan. *The following Best Management Practices should be considered as part of an effective erosion control plan with greater levels of control utilized for sites that have steep slopes, are adjacent to lakes and streams, receive a lot of runoff from adjacent land or are larger than an acre. Please refer to the Wisconsin Department of Natural Resources website for additional information on erosion control and storm water management https://dnr.wi.gov/topic/stormwater/construction/erosion_control.html#7*

Best Management Practices:

Straw Bale or Silt Fence and Erosion Mat

 $\sqrt{1}$ Install within 24 hours of land disturbance.

- $\sqrt{1}$ Install on downslope sides of site parallel to contour of the land.
- $\sqrt{}$ Extended ends upslope enough to allow water to pond behind fence.
- $\sqrt{10}$ Bury 8 in of fabric in trench and stake (2 stakes per bale).
- $\sqrt{\rm Leave}$ no gaps. Stuff straw between bales, overlap sections of silt fence, or twist ends of silt fence together.
- $\sqrt{}$ Inspect and repair once a week and after every rain. Remove sediment if deposits reach half the fence height. Replace bales after 3 months.
- \sqrt{Place} erosion control mat on disturbed slopes greater than 10%.

Soil Piles

- $\sqrt{\rm Cover}$ with plastic and locate away from any down slope street, driveway, stream, lake, wetland, ditch or drainage-way.
- $\sqrt{\rm Temporary}$ seed such as annual rye or winter wheat is recommended for topsoil piles.

Sediment Cleanup

 $\sqrt{}$ By the end of each work day, sweep or scrape up soil tracked onto the street or drive.

 $\sqrt{\rm By}$ the end of the next work day after a storm, clean up soil that has washed off site.

Preserving Existing Vegetation

 $\sqrt{}$ Wherever possible, preserve existing trees, shrubs, and other vegetation.

- $\sqrt{}$ To prevent root damage, do not grade, place soil piles or park vehicles near trees marked for preservation.
- $\sqrt{\rm Place}$ plastic mesh or snow fence barriers around trees to protect the root area below their branches.

Revegetation

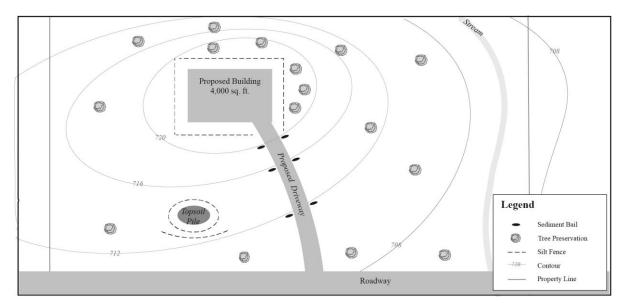
 $\sqrt{\rm Seed},$ sod or mulch bare soil as soon as possible. Vegetation is the most effective way to control erosion.

Seeding and Mulching

- $\sqrt{}$ Spread 4 to 6 inches of topsoil.
- $\sqrt{\text{Seed with an appropriate mix for the site.}}$
- $\sqrt{\text{Rake lightly to cover seed with 1/4" of soil. Roll lightly.}}$
- $\sqrt{}$ Mulch with straw (70-90 lb. Or one bale per 1000 sq. ft)
- $\sqrt{\rm Anchor}$ mulch by punching into the soil, watering, or by using netting or other measures on steep slopes.
- $\sqrt{\rm Water}$ gently every day or two to keep soil moist. Less watering is needed once grass is two inches tall.

Sodding

- $\sqrt{}$ Spread 4 to 6 inches of topsoil.
- √ Lightly water.
- $\sqrt{}$ Lay sod, tamp or roll lightly.
- $\sqrt{}$ On slopes, lay sod starting at the bottom and work toward the top. Laying in a brickwork pattern. Peg each piece down in several places.
- $\sqrt{}$ Initial watering should wet soil 6 inches deep, then water lightly every day or two to keep soil moist but not saturated for two weeks.
- √ Generally, the best times to sod and seed are early fall (Aug 15-Sept 15) or spring (May). If construction is completed after September 15, final seeding should be delayed. Sod may be laid until November 1. Temporary seed (such as rye or winter wheat) may be planted until October 15. Mulch or matting may be applied after October 15, weather permitting. Straw bale or silt fences shall be maintained until final seeding or sodding is completed in spring (by June 1).



Sauk County Permit Application Check Sheet

Before staff will review an application, intake will confirm all supporting permit information is in hand. Incomplete applications will be returned or denied. Once intake has verified permit completeness, staff will begin the review process. Staff review may request additional information in order to meet code requirements. Original documents and signatures are necessary before the permit can be issued. If all supporting information is not provided, it will delay the issuance of your permit. If you have any questions, please do not hesitate to contact our office at 608-355-3245.

OWNER NAME:_____

Date Submitted:

SUBMITTED BY:_____

			INTAKE		Land Use Fees
Sectio	ons 1-3,	5-9: G	eneral Land Use Info Required	Land use fees are <u>trip</u> * Land Use Permits sh	<u>pled</u> when work is sta all be accompanied by 1
Yes	No	N/A	 a. Permit filled out & signed/dated (Section 10 & Appendix A) b. Permit fees 	* Single Family Residence \$500.00 Additions - \$200	* Multi-Family Structure \$600.00 Additions - \$250
			c. Detailed Plot plan showing dimensions and setbacks, signed by owner/agent providing plan.	Fire Sign \$100.00	Addt'l Fire Sign \$50/sign \$15/post
			d. Floor plans, signed & dated by owner/contractor (required for all structures).	Sign/Billboards \$2 sq. ft. or \$100 minimum	* Decks - Stairways and other land uses/structures
			e. Written Driveway approval		\$100.00
			f. Fire sign data g.ECSM info meeting BMPs	Erosion Control \$100.00	Retaining Walls \$300.00
Additi	ional In	fo Requ	ired for Shoreland District	Filling and Grading \$100.00	
			h. Filling/grading plansi. Erosion control plansj. Vegetation removal/planting plans	Vegetative Buffer Removal/Tree Cutting \$100.00	Permit Renewal/Transfer Fee \$100.00
			 k. Impervious Surface Calculations l. Worksheets No. 2 and/or No. 3 m. Impervious Surface Affidavit & Recording Fee 	* Boathouses/State Statute §59.692(1v) Structure(s) \$300.00	Lodging House/B&B Permit Clean Landfill \$100 (Annual
Sectio	on 5: Pl	umbing	z Info Required		Review/Inspection Fee \$100)
Yes	No □	N/A □	n. DSPS Sanitary application signed by licensed plumber	-	tic Permit Fe
			 o. Soil test filed and fees paid p. Septic maintenance agreement signed and dated by owner 	Conventional System, Mound, IGP, Atgrade \$550.00	Holding Tank \$650.00
			 q. Privy agreement r. Holding tank agreement s. Holding tank servicing contract t. Detailed Plot plan showing dimensions and setbacks, signed by 	Tank / Drainfield Replacement \$200.00	Permit Renewal/Transfer Fee \$100.00
			owner/agent providing plan (when not accompanied by land use permit) u. Floor plans, signed & dated by owner/contractor (when not	Privy \$200.00	HoldingTank Plan Review \$90.00 Atgrade Plan
			accompanied by land use permit) v. Written Driveway approval w. Fire sign data	Groundwater Fee \$125	Review \$250 Plan Revision Fee \$85.00

Land Use Fees Land use fees are <u>tripled</u> when work is started without permits. * Land Use Permits shall be accompanied by Erosion Control Plans							
* Single Family Residence \$500.00 Additions - \$200	* Multi-Family Structure \$600.00 Additions - \$250	* Commercial Industrial Bldg \$600.00 Additions - \$300					
Fire Sign \$100.00	Addt'l Fire Sign \$50/sign \$15/post	Mobile Homes \$200.00					
Sign/Billboards \$2 sq. ft. or \$100 minimum	* Decks - Stairways and other land uses/structures \$100.00	* Detached Garages/ Residential and Agricultural Accessory Structures / Sheds \$100.00					
Erosion Control \$100.00 Filling and Grading \$100.00	Retaining Walls \$300.00	Home Based Business, Change of Use, Conforming Land Use \$100.00					
Vegetative Buffer Removal/Tree Cutting \$100.00	Permit Renewal/Transfer Fee \$100.00	Camping Permit \$20.00					
* Boathouses/State Statute §59.692(1v) Structure(s) \$300.00	Lodging House/B&B Permit Clean Landfill \$100 (Annual Review/Inspection Fee \$100)	Floodplain Surcharge \$200.00 Shoreland/Wetland or Additional Site Inspections \$150					

Septic Permit Fees Septic Fees are doubled when work is started without permits.							
Conventional System, Mound, IGP, Atgrade \$550.00	Holding Tank \$650.00	Reconnection \$300.00					
Tank / Drainfield Replacement \$200.00	Permit Renewal/Transfer Fee \$100.00	Large System >= 1,000 GPD \$700.00					
Privy \$200.00	HoldingTank Plan Review \$90.00 Atgrade Plan	Soils Onsite Verification / Filing \$100					
Groundwater Fee \$125	Review \$250 Plan Revision Fee - \$85.00	Staff Onsite Inspection \$100					