



September 17, 2015

**VIA CERTIFIED MAIL**  
**7014 2870 0001 3604 3275**

Sauk County  
Attn: Director of Emergency Management  
Buildings & Safety  
505 Broadway  
Baraboo, Wisconsin 53913

Re: Site Number/Name: #785430 / Baraboo DT  
Commencement Date Notice

Dear Landlord:

This letter is to serve as written notice that United States Cellular Operating Company is commencing the lease in accordance with the Ground Lease dated June 24, 2015.

The initial term of the agreement will commence on September 14, 2015. Please be advised that per the Ground Lease, the first rent check will be sent to you under separate cover - within 30 days of the date of commencement specified.

If you have questions regarding rental payments please call the toll free number (866) 573-4544. Thank you for helping us to establish this site.

Sincerely,

A handwritten signature in black ink, appearing to read "Wayne Davis".

Wayne Davis  
Manager Lease Administration  
Financial & Real Estate Services  
U.S. Cellular®

RECEIVED

SEP 24 2015

EMERGENCY MGMT.  
BLDGS. & SAFETY  
SAUK COUNTY

**MEMORANDUM OF  
AGREEMENT**

Document Number

**THIS MEMORANDUM OF AGREEMENT** is made and entered into by and between the County of Sauk, a political subdivision of the State of Wisconsin, whose address is 505 Broadway, Baraboo, Wisconsin 53913, hereinafter referred to as "County", and United States Cellular Operating Company LLC, a Delaware limited liability corporation, whose address is Attention: Real Estate, 8410 West Bryn Mawr Avenue, Chicago, Illinois, 60631, hereinafter referred to as "Lessee."

**WITNESSETH:**

**WHEREAS**, by the terms of a certain Communications Facilities Space Lease Agreement, entered into on the \_\_\_\_ of \_\_\_\_\_, 2015, ("the Agreement"), the County granted Lessee the option to lease certain property and agreed to grant Lessee certain easements, all being more particularly bounded and described as set forth in Exhibit "A" attached hereto and made a part hereof (the "Premises") upon the terms and conditions set forth in the Agreement; and

**WHEREAS**, the County and the Lessee desire to execute this Memorandum of Agreement to evidence said Agreement and certain of the terms therein for the purpose of placing the same of record in the Clerk's Office for Sauk County, State of Wisconsin.

**NOW THEREFORE**, in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the County does hereby grant Lessee the option to lease the Premises and obtain certain easements upon the terms and conditions of the Agreement which is incorporated herein by specific reference, and do agree as follows:

1. The Agreement allows the Lessee a lease on the property for an initial lease term of five (5) years commencing on the date that Lessee begins construction. The Agreement provides for renewal terms that may extend the term of the Agreement for up to five (5) additional five (5) year terms which may be exercised upon the terms and conditions more particularly as set forth in the Agreement.
2. This Memorandum of Agreement is subject to all the terms and provisions of the Agreement which is incorporated herein and made part hereof by reference as if all the provisions thereof were copied in full herein. Any conflict between the provisions of the Memorandum of Agreement will be resolved in favor of the Agreement.

**Recording Area**

Name and Return Address:  
United States Cellular Operating Company LLC  
8410 W. Bryn Mawr Ave.  
Chicago, IL 60631  
Site Name/Number: Baraboo DT/785430

This is not a Real Estate conveyance. No transfer tax is required under Wis. Statutes 77.21 & 77.22.  
This is a lease for less than 99 years.

Parcel Identification Number (PIN) 206-1496 and 206-1505

IN WITNESS WHEREOF, the Landlord and Lessee hereto have caused this Memorandum of Agreement to be executed by their duly authorized officers as of the date of full execution.

LANDLORD: County of Sauk

LESSEE: United States Cellular Operating Company LLC

By: Martin F. Krueger

By: [Signature]

Printed: MARTIN F. KRUEGER

Printed: Mike Irizarry

Title: SAUK CO. BOARD CHAIRPERSON

Title: Vice President

Date: JUNE 26, 2015

Date: 6.10.15

STATE OF WISCONSIN )

COUNTY OF SAUK )

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that Rebecca C. Evert known to me to be the same person whose name is subscribed to the foregoing Memorandum of Agreement, appeared before me this day in person acknowledged that he/she signed the said Memorandum as his/her free and voluntary act on behalf of the named County of Sauk for the uses and purposes therein stated.

Given under my hand and seal this June day of 2016



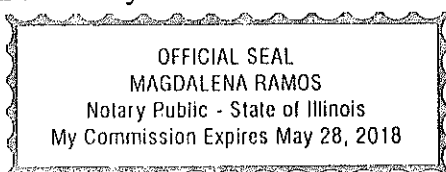
Rebecca C. Evert  
Notary Public  
My commission expires 1-2-2017

STATE OF ILLINOIS )

COUNTY OF COOK )

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that Mike Irizarry, Vice President, known to me to be the same person whose name is subscribed to the foregoing Memorandum of Agreement, appeared before me this day in person and acknowledged that, pursuant to his authority, he signed the said Memorandum as his free and voluntary act on behalf of the named Lessee United States Cellular Operating Company LLC, for the uses and purposes therein stated.

Given under my hand and seal this 10<sup>th</sup> day of June, 2015.



[Signature]  
Notary Public  
My commission expires 5.28.18

## **EXHIBIT A**

### **Legal Description**

The land referred to herein below is situated in the County of Sauk, City of Baraboo, State of Wisconsin, and is described as follows:

Lots Ten (10), Eleven (11) and Twelve (12), Block Twenty-eight (28), City of Baraboo, formerly Adams, Sauk County, Wisconsin.

Part of Lots One (1) and Two (2), Block Twenty-eight (28), City of Baraboo, formerly Adams, bounded and described as follows: Beginning at the Southeast corner of said Lot One (1), running thence North on the East line of said lot, 33 feet to a point, running thence West 118 feet to a point, running thence South 33 feet to a point on the North line of the public alley, running thence East along the North line of said public alley 118 feet to the point of beginning, Sauk County, Wisconsin.

The East 118 feet of the alley as dedicated in Block 28, City of Baraboo, formerly Adams, Sauk County, Wisconsin.

Parcel ID: 044-1505-00000

This being the same property conveyed to Sauk County, a Municipal Corporation, from City of Baraboo, a Wisconsin Municipal Corporation, in a deed dated September 15, 1994 and recorded September 16, 1994, in Book 652 Page 529.

## COMMUNICATIONS FACILITIES SPACE LEASE AGREEMENT

THIS AGREEMENT, made and entered into between the County of Sauk, a political subdivision of the State of Wisconsin (hereafter "County"), and United States Cellular Operating Company LLC hereafter "Lessee") ("Agreement").

WITNESSETH:

WHEREAS, the County owns a building known as the West Square Administration Building in the City of Baraboo ("Facility"), and the Lessee is a corporation engaged in the business of providing telecommunications services through the maintenance of a cellular network; and,

WHEREAS, the Lessee is desirous of improving its communications system in the City of Baraboo area, and the County of Sauk has space available on the roof and in the penthouse mechanical room of the West Square Administration Building for the placement of antennas and communications equipment.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

### I. LEASED FACILITIES, TERM AND USE:

A. Site: The West Square Administration Building is located in the City of Baraboo, Wisconsin, commonly known as 505 Broadway, Baraboo, Wisconsin 53913 (APN: 206-1496 and 206-1505). The County agrees to lease to Lessee space on the roof as well as space in the penthouse mechanical room for the Lessee's antennas and communications equipment ("Premises"). The leased space at the Facility is more fully described and shown on Exhibit A to this Agreement.

B. Term and Termination: This Agreement shall be effective on the date of full execution hereof ("Effective Date"). Beginning on the Effective Date and continuing until the end of the term as defined below, Lessee shall be permitted access to the Facility for the purpose of placing and servicing the equipment as noted on the Exhibit A to this Agreement.

1. The term of Lessee's tenancy hereunder shall commence upon the Rent Commencement Date, as defined hereinafter defined and will continue in effect for a five-year Term unless otherwise terminated as provided herein. Lessee shall have the right to extend the term for five (5) successive five (5) year terms on the same terms and conditions as set forth herein.

2. The Lessee shall notify the County one hundred twenty (120) days prior to the expiration of any term, if the Lessee desires to exercise its right to extend this Agreement.

3. This Agreement may be terminated without further liability as follows:

(a) By either party upon a default of any covenant or term hereof by the other party, which default is not cured within sixty (60) days of receipt of written notice of default, except that this Agreement shall not be terminated if the default cannot reasonably be cured within such sixty (60) day period and the defaulting party has commenced to cure the default within such sixty (60) day period and diligently pursues the cure to completion; provided that the grace period for any monetary default is ten (10) days from receipt of written notice; or by Lessee, if Lessee is unable to occupy and utilize the Premises due to an action of the FCC, including without limitation, a take back of channels or change in frequencies; or

(b) By either party, with one hundred twenty (120) days prior written notice, if any environmental report for the property reveals the presence of any Hazardous Material after the Term Commencement Date; or

(c) If at some point in the future, it becomes unnecessary or undesirable for the County to continue to operate and maintain the Facility, the County shall provide three hundred sixty five (365) days notice of its intent to discontinue maintenance and operation of the Facility and terminate this agreement for convenience and without further liability to the County.

(d) By the Lessee, with thirty (30) day prior notice, if the Premises are unsuitable, in the Lessee's sole opinion, for Lessee's use.

4. Lessee will be required to provide all architectural and engineering drawings and properly stamped approvals indicating that all equipment installed shall not adversely affect the county structure/premises.

C. Use: From and after the Effective Date, the Facility, and the Premises thereon, may be used by the Lessee for any lawful activity in connection with the operation of the Lessee's communications equipment as noted within the Exhibit A to this Agreement. Lessee must provide copies to the County of licenses for all communications equipment described within the Exhibit A that will be placed at the Facility as part of this Agreement.

1. Access: Lessee shall have reasonable access to the Facility. Reasonable access is defined as any access necessary to effectuate the terms of this agreement and to maintain the operation of the communications equipment of the Lessee. Notice of access shall be provided to the County in advance, but the County shall not deny access unreasonably, nor shall such access be unreasonably conditioned, withheld or delayed. Lessee acknowledges that the leased facilities are part of the Facility and that the County conducts essential governmental activities at this location. Lessee shall take any requested steps to minimize any disruption to the County's operations. In addition, the Lessee recognizes that the County must take reasonable security steps to identify the Lessee's personnel in order to protect public safety. In the event of an emergency, the Lessee will have access to the site and give notice to County as reasonably practicable.

2. Use. The Lessee's use includes, but is not limited to, the right to place, erect, maintain, test, replace, remove, operate and upgrade communications facilities, including utility lines, transmission lines, , electronic equipment, transmitting and receiving antennas, and supporting equipment and structures according to plans submitted for approval to the County, and approved by the County in advance of installation.

3. Installation of equipment, removal, and repair of damage:

(a) All installation work performed at the leased space shall be coordinated with the County contact noted within this Agreement.

(b) Lessee shall have the right to remove all equipment and facilities installed by it at its sole expense on or before the expiration or earlier termination of this Agreement in accordance to the terms specified within this Agreement.

(c) Lessee shall be solely responsible to repair any damage to the leased space caused by the Lessee, such damages to be determined by the County in its reasonable discretion. Should the Lessee fail to properly repair any damages caused by Lessee within thirty (30) days of receipt of a written demand from the County to perform such repairs, the County shall be entitled to make repairs to such damage and Lessee shall be responsible for payment of the reasonable cost of such repairs plus 5%. Upon termination of this Agreement, the Lessee shall remove all equipment and facilities from the Facility within 60 days of the date of termination, and shall repair the Premises to substantially the condition in which it existed upon start of construction, reasonable wear and tear or other causes beyond Lessee's control excepted.

(d) In the event the Lessee desires to modify its equipment located at the Facility from that shown in Exhibit A to this Agreement, Lessee must first obtain the prior written approval of the County after the completion of all necessary engineering. Such approval shall not be unreasonably withheld, conditioned or delayed. All costs associated with such changes, including all necessary engineering and other such costs shall be at the expense of the Lessee. Lessee shall complete any documents required by the County, with all desired

modifications noted. Such modification may necessitate a review of compensation and the parties shall negotiate any changes to result in a commercially reasonable adjustment to the compensation.

D. Lessee shall be responsible for compliance with all marking and lighting requirements of the Federal Aviation Administration (FAA) and the Federal Communications Commission (FCC). Should County or lessee be cited because the Property is not in compliance and should the Lessee fail to cure the conditions of noncompliance, County may terminate this Agreement.

E. Utilities. Lessee shall pay for electricity it consumes in connection with its operations at the rate charged by the electric utility. The County shall cooperate with the Lessee in obtaining satisfactory electric service for its operations. Any additional cost incurred in obtaining adequate electrical service for the Lessee shall be the responsibility of the Lessee.

F. Repairs/routine maintenance to the Facility.

1. The County may at times need to perform routine maintenance and/or repairs to the leased space that could affect the operation of the Lessee's equipment. The Lessee acknowledges that such repairs and/or maintenance could require the Lessee's equipment to be turned off and/or moved by Lessee. The County shall provide the Lessee with not less than sixty (60) days' notice of such repairs and/or maintenance unless such repairs are of an emergency nature, in which case the County shall give such notice as is reasonable under the circumstances.

2. In the event that that Lessee is required to turn off or move its equipment under the preceding subparagraph, the County shall permit the Lessee to temporarily relocate Lessee's equipment then installed on the Premises, by connecting it to a mobile communications facility ("COW"), at a nearby site to be mutually agreed upon, if reasonably practical. If the County does not permit the connection of a COW at this site, or if the interruption in the Lessee's service at this site exceeds sixty (60) days, Lessee may, in its reasonable discretion, terminate this Agreement without further obligation to the County.

3. Lessee shall be responsible for all costs related to the relocation/moving of their equipment and shall work with the County to assure that any movement/relocation of equipment is done in a timely manner to complete such maintenance/repairs. County shall not be responsible for any down time due to such maintenance/repair work.

## II. COMPENSATION:

A. Commencing on the date that Lessee commences construction (the "Rent Commencement Date"), Lessee shall pay Rent to County in the amount of twenty six hundred and sixty dollars, \$2,660 dollars per month, the first payment of which shall be due within thirty (30) days of the Rent Commencement Date, and installments thereafter on the first day of each calendar month, provided that County shall submit to Lessee a complete and accurate IRS form W9 prior to Lessee's first payment of Rent. County shall specify the name, address, and taxpayer identification number of a sole payee (or maximum two joint payees) who shall receive Rent on behalf of the County. Rent will be prorated for any partial month. Any change to the Payee must be requested in accordance with the Notice provision herein, and a new IRS form W9 must be supplied prior to payment by Lessee to the new Payee. On every anniversary of the Rent Commencement Date, throughout the duration of the Lease as renewed and extended, the Rent shall be increased by three (3%) percent over the previous year's Rent. For illustrative purposes, the County lease payments as provided for in this Section is attached as Exhibit B to this Agreement.

B. Failure to timely make the lease payments shall be a material breach of this agreement. Lease payments not received within fifteen (15) days of the due date of the payment shall accrue interest at the rate of one percent (1%) per month.

## III. INSURANCE, INDEMNITY AND SUBROGATION:

A. County, at County's sole cost and expense, shall procure and maintain on the Premises and on the County facilities, bodily injury and property damage insurance with a combined single limit of at least One Million Dollars (\$1,000,000.00) per occurrence. Such insurance shall insure, on an occurrence basis, against all liability of

Lessee, its employees and agents arising out of or in connection with the County's operations, all as provided for herein.

B. Lessee will be responsible for insurance on all equipment and facilities installed at the Facility. Lessee, at Lessee's sole cost and expense, shall procure and maintain on the property, bodily injury and property damage insurance with a combined single limit of at least One Million Dollars (\$1,000,000.00) per occurrence. Such insurance shall insure, against all liability of Lessee, its employees and agents arising out of or in connection with Lessee's use, occupancy and maintenance of the property.

C. Each party shall be named as an additional insured on the other's policy. Each party shall provide to the other a certificate of insurance evidencing the coverage required by this paragraph upon request.

D. Lessee and County shall each indemnify, defend and hold the other harmless from and against all claims, losses, liabilities, damages, costs, and expenses (including reasonable attorneys' and consultants' fees, costs and expenses) (collectively "Losses") arising from the indemnifying party's breach of any term or condition of this Agreement or from the negligence or willful misconduct of the indemnifying party's agents, employees or contractors in or about the property. The duties described in this agreement are effective on the effective date of this Agreement and survive the termination of this Agreement.

#### IV. INTERFERENCE:

A. Lessee shall operate its facilities in compliance with all Federal Communications Commission ("FCC") requirements and in a manner that will not cause interference to County or other lessees or licensees of the property, provided that any such installations predate that of the Lessee's facilities.

B. Subsequent to the installation of the Lessee's equipment and facilities, Lessee will not install new equipment on, or make any alterations to, the Facility if such modifications are likely to cause interference with the County's operations or other agencies or companies already leasing space from the county. In the event interference occurs, Lessee agrees to use its best efforts to eliminate such interference in a reasonable time period. Lessee's failure to comply with this paragraph shall be a material breach of this Agreement.

C. Lessee will be responsible for attaching all necessary filtering devices to its communications systems equipment to eliminate any degradation or performance loss caused to the County system or other systems already in operation. Should the Lessee's equipment at any time be reasonably determined by County staff to be the cause for the County's system to have a loss in performance/degradation, the County shall have the right to direct, upon twenty-four (24) hours notice, that Lessee immediately remove from service (turn off/remove) such elements of the Lessee's system to eliminate the performance loss on the County system. Should the County so determine and direct the Lessee to remove from service any portion of the Lessee's equipment, except for Lessee's testing of its equipment, the Lessee will not be allowed to return its equipment to service until such problem is corrected and agents of the County are on site to reasonably assure corrections have been made.

D. Should the County be notified by others companies already leasing similar space from the County that the lessee's equipment is creating degradation and/or performance loss to their systems, it will be the sole responsibility and cost of the lessee to correct any such issues. All other remedies as noted within IV, C. above will also apply.

#### V. COUNTY'S OBLIGATIONS:

A. County shall maintain access to the facilities in a manner sufficient to allow pedestrian and vehicular access at all times under normal weather conditions. County shall be responsible for maintaining and repairing County facilities necessary to access the site at its sole expense, except for any damage caused by Lessee's use.

B. County shall be responsible for any repairs and/or maintenance to the Facility, unless the need for such repairs and/or maintenance are due to Lessee's use of the Facility.



C. The County warrants that it; one, owns the property in fee simple and has rights of access thereto and the property is free and clear of all liens, encumbrances and restrictions except those of record as of the Effective Date; and two, the County covenants and agrees with Lessee that Lessee may peacefully and quietly enjoy the Premises, provided that Lessee is not in default hereunder after notice and expiration of all cure periods, and the Lessee's operations do not disrupt County operations.

## VI ENVIRONMENTAL:

A. Hazardous Material. As of the Effective Date of this Agreement, Lessee hereby represents and warrants that it shall not use, generate, handle, store or dispose of any Hazardous Material in, on, under, upon or affecting the property in violation of any Environmental Law (as defined below). The County hereby represents and warrants that it has no knowledge of the presence of any Hazardous Material located in, on, under, upon or affecting the property in violation of any Environmental Law; no notice has been received by or on behalf of the County, and the County has no knowledge that notice has been given to any predecessor owner or operator of the property by any governmental entity or any person or entity claiming any violation of, or requiring compliance with, any Environmental Law for any environmental damage in, on, under, upon or affecting the property; and it will not permit itself or any third party under the County's control and with the County's knowledge to use, generate, handle, store or dispose of any Hazardous Material in, on, under, upon, or affecting the property in violation of any Environmental Law.

B. Lessee and County shall each indemnify, defend and hold the other harmless from and against all Losses arising from any breach of any representation or warranty made in this paragraph, and/or environmental conditions or noncompliance with any Environmental Law (as defined below) that result, in the case of Lessee, from operations in or about the property by Lessee or Lessee's agents, employees or contractors, and in the case of County, from the ownership or control of, or operations in or about, the property by County or County's predecessors in interest, and their respective agents, employees, contractors, County, guests or other parties. The duties described in this paragraph shall apply as of the Effective Date of this Agreement and survive termination of this Agreement.

1. "Hazardous Material" means any solid, gaseous or liquid wastes (including hazardous wastes), regulated substances, pollutants or contaminants or terms of similar import, as such terms are defined in any Environmental Law, and shall include, without limitation, any petroleum or petroleum products or by-products, flammable explosives, radioactive materials, asbestos in any form, polychlorinated biphenyls and any other substance or material which constitutes a threat to health, safety, property or the environment or which has been or is in the future determined by any governmental entity to be prohibited, limited or regulated by any Environmental Law.

2. "Environmental Law" means any and all federal, state or local laws, rules, regulations, codes, ordinances, or by-laws, and any judicial or administrative interpretations thereof, including orders, decrees, judgments, rulings, directives or notices of violation, that create duties, obligations or liabilities with respect to: (i) human health; or (ii) environmental pollution, impairment or disruption, including, without limitation, laws governing the existence, use, storage, treatment, discharge, release, containment, transportation, generation, manufacture, refinement, handling, production, disposal, or management of any Hazardous Material, or otherwise regulating or providing for the protection of the environment.

## VI. MISCELLANEOUS PROVISIONS:

A. Taxes. The County is a tax exempt, governmental entity. Lessee shall be responsible for any and all taxes assessed to its communication system and facilities.

B. Waiver of County's Lien.

1. County waives any lien rights it may have concerning the Lessee's Facilities, all of which are deemed Lessee's personal property and not fixtures, and Lessee has the right to remove the same at any time without the County's consent. However, Lessee shall provide advance notice to the County and the removal shall be conducted in such a way as to cause no damage to the County's property.

2. County acknowledges that Lessee has entered into a financing arrangement including promissory notes and financial and security agreements for the financing of the Lessee's Facilities ("Collateral") with a third party financing entity, (and may in the future enter into additional financing arrangements with other financing entities). In connection therewith, the County (i) consents to the installation of the Collateral; (ii) disclaims any interest in the Collateral, as fixtures or otherwise; and (iii) agrees that the Collateral shall be exempt from execution, foreclosure, sale, levy, attachment, or distress for any payments due or to becoming due and that such Collateral may be removed at any time without recourse to legal proceedings.

C. Destruction or Condemnation. If the Premises or County facilities are damaged, destroyed, condemned or transferred in lieu of condemnation, County may elect to terminate this Agreement as of the date of the damage, destruction, condemnation or transfer in lieu of condemnation by giving notice to Lessee no more than forty-five (45) days following the date of such damage, destruction, condemnation or transfer in lieu of condemnation.

D. Assignment and Subletting. Lessee will not assign or transfer this Agreement or sublet all or any portion of the Site without the prior written consent of the County, which consent will not be unreasonably withheld, conditioned or delayed. Notwithstanding the above, the Lessee shall have the right, with notice to the County, to sublease or otherwise transfer or allow the use of, all or any portion of the Site or assign its rights under this Agreement in whole or in part to: (a) any entity controlling, controlled by or under common control with Lessee; (b) any entity acquiring substantially all of the assets of the Lessee; (c) any successor entity in a merger or consolidation involving Lessee. Upon assignment, Lessee shall be relieved of all future performance, liabilities, and obligations under this Agreement, provided that the assignee assumes, in writing, all of Lessee's obligations herein. Provided the nature, extent, and use of the Premises remains substantially unchanged, the County shall not be entitled to any additional compensation in connection with a transfer under this paragraph.

E. Entire Agreement. This Agreement, consisting of this signed document, and identified and appended exhibits signed by the parties, constitutes the entire agreement and understanding between the parties, and supersedes all offers, negotiations and other agreements concerning the subject matter contained herein. Any amendments to this Agreement must be in writing and executed by both parties.

F. Severability. If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, shall not be affected and each provision of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

G. Successors. This Agreement shall be binding on and inure to the benefit of the successors and permitted assignees of the respective parties.

H. Notices. Any notice or demand required to be given herein shall be made by certified or registered mail, return receipt requested, or reliable overnight courier to the address of the respective parties set forth below:

County:  
Sauk County  
ATTN: Director of Emergency Management,  
Buildings & Safety  
505 Broadway  
Baraboo, Wisconsin 53913

Lessee:  
United States Cellular Operating Company LLC  
ATTN: Real Estate Department  
8410 W. Bryn Mawr Avenue  
Chicago, Illinois 60631  
Phone: 866-573-4544

I. Governing law and forum: This Agreement shall be governed by the laws of the State of Wisconsin, and a court mutually agreed upon by both parties shall be the forum for any litigation arising from this agreement.

J. Approval and consent: In any case where the approval or consent of one party hereto is required, requested or otherwise to be given under this Agreement, such party shall not unreasonably delay or withhold its approval or consent.

K. Legal Capacity: Each of the parties hereto represent and warrant that they have the right, power, legal capacity and authority to enter into and perform their respective obligations under this Agreement.

L. Surrender. Upon the expiration or earlier termination of this Lease, Lessee shall remove all of Lessee's property from the Premises and surrender the Premises to County in good condition, reasonable wear and tear excepted.

FOR THE COUNTY

Martin F. Kuuger

Sauk County Board of Supervisors

Date: JUNE 26, 2015

Rebecca A. Herman

County Clerk

Date: 6.24.15

FOR LESSEE

United States Cellular Operating Company LLC

[Signature]

Date: 6.10.15

## **Exhibit A**

### **Site Plan**

**Final drawings to be inserted upon completion.**

## Exhibit B

### Schedule of Rents

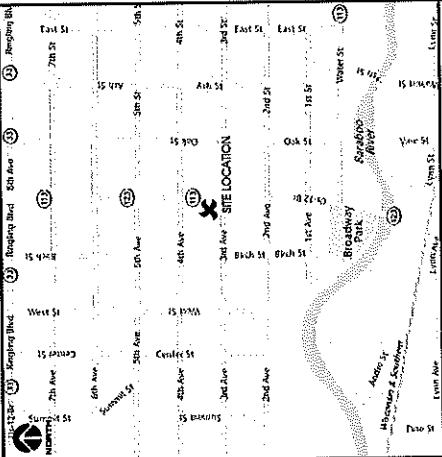
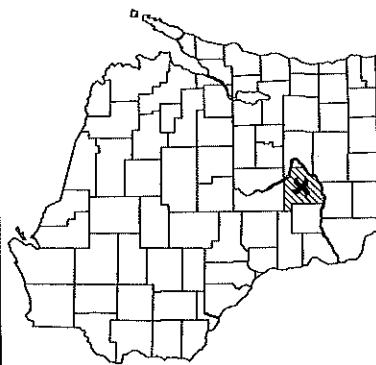
| Year | Monthly Rent | Year End Total | Cumulative Year End Total |
|------|--------------|----------------|---------------------------|
| 1    | \$2,660.00   | \$31,920.00    | \$31,920.00               |
| 2    | \$2,739.80   | \$32,877.60    | \$64,797.60               |
| 3    | \$2,821.99   | \$33,863.93    | \$98,661.53               |
| 4    | \$2,906.65   | \$34,879.85    | \$133,541.37              |
| 5    | \$2,993.85   | \$35,926.24    | \$169,467.62              |
| 6    | \$3,083.67   | \$37,004.03    | \$206,471.64              |
| 7    | \$3,176.18   | \$38,114.15    | \$244,585.79              |
| 8    | \$3,271.46   | \$39,257.57    | \$283,843.37              |
| 9    | \$3,369.61   | \$40,435.30    | \$324,278.67              |
| 10   | \$3,470.70   | \$41,648.36    | \$365,927.03              |
| 11   | \$3,574.82   | \$42,897.81    | \$408,824.84              |
| 12   | \$3,682.06   | \$44,184.75    | \$453,009.58              |
| 13   | \$3,792.52   | \$45,510.29    | \$498,519.87              |
| 14   | \$3,906.30   | \$46,875.60    | \$545,395.47              |
| 15   | \$4,023.49   | \$48,281.86    | \$593,677.33              |
| 16   | \$4,144.19   | \$49,730.32    | \$643,407.65              |
| 17   | \$4,268.52   | \$51,222.23    | \$694,629.88              |
| 18   | \$4,396.57   | \$52,758.90    | \$747,388.78              |
| 19   | \$4,528.47   | \$54,341.66    | \$801,730.44              |
| 20   | \$4,664.33   | \$55,971.91    | \$857,702.35              |

<sup>1</sup> Sauk County will have its own engineers review the layout as noted in Exhibit A and the cost will be billed back to the Lessee.

<sup>2</sup> Any special request for installation, reviews, etc. handled by Sauk County will be billed to the Lessee.



**BARABOO DT [785430]  
BARABOO, WISCONSIN  
CONSTRUCTION DRAWINGS  
ROOFTOP INSTALLATION  
MARCH 2015**



## SITE LOCATION MAPS



## LOCATION SCAN

| SHEET INDEX: |                               |
|--------------|-------------------------------|
| NO.:         | PAGE TITLE:                   |
| T-1          | TITLE SHEET                   |
| I-1          | SURVEY *                      |
| SP-1         | SPECIFICATIONS                |
| SP-2         | SPECIFICATIONS                |
| C-1          | SITE PLAN                     |
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| C-3          | ROOF & PENTHOUSE FRAMING PLAN |
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| A-1          | BUILDING ELEVATION            |
| A-2          | ANTENNA PLATFORM DETAILS      |
| A-3          | ANTENNA PLATFORM DETAILS      |
| A-4          | ANTENNA INSTALLATION DETAILS  |
| A-5          | COAX ROUTING DETAILS          |
| G-1          | GROUNDING PLAN                |
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| E-1          | BASEMENT UTILITY PLAN         |
| E-2          | 4TH FLOOR UTILITY PLAN        |
| E-3          | UTILITY DETAILS               |
| E-4          | ELECTRICAL NOTES              |

\* PREPARED BY OTHERS

\* PREPARED BY OTHERS

## PROJECT DIRECTORY:

**ENGINEERING COMPANY:**  
EDGE CONSULTING ENGINEERS, INC.  
624 WATER STREET  
PRINCETON, NJ 08578  
CONTACT: DAVID L. SHIEK  
PHONE 608/544-1449

**CLIENT:**  
U.S. CELLULAR - MADISON  
5177 WEST TERRACE DRIVE  
MADISON, NJ 08718  
CONTACT: JENNIFER RODGERS  
PHONE 608/461-6549

**SITE ACQUISITION:**  
BUELL CONSULTING  
1203 RIVA RIDGE  
RACINE, WI 53402  
CONTACT: NATHAN WARD  
PHONE 414/788-1327

**PROJECT INFO:**

**SITE LOCATION:**  
510 BROADWAY STREET  
BARABOO, WI 53913

**SITE #:** 786430

**PROPERTY OWNER:**  
CITY OF BARABOO  
BARABOO, WI 53913

**CONTACT EMAIL:** [TS1IEV@COSAUK.WI.US](mailto:TS1IEV@COSAUK.WI.US)  
**CONTACT PHONE:** 608.355.4419

## UTILITY INFORMATION

|                        |                         |
|------------------------|-------------------------|
| NAME: MI POWER & LIGHT | NAME: CENTURYLINK       |
| PHONE: 608.458.3311    | PHONE: 608.355.5154     |
| NAME: ELECTRIC SERVICE | NAME: TELEPHONE SERVICE |
| PROVIDER               | PROVIDER                |



STAIN LOCATION OF PARTICIPANTS UNDERGROUND  
SECURITIES BEFORE YOU DIG IN WISCONSIN, CALL  
DROGERS HOTLINE  
TOLL FREE  
1-800-242-4671  
FAX A LOCATION 1-800-338-3862

**ENGINEER SEAL:**

PRELIMINARY -  
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

**Signature:** \_\_\_\_\_

T-1  
SHEET NUMBER

BARABOO DT (785430)  
BARABOO, WISCONSIN

# TITLE SHEET

**Edge** Consulting Engineers, Inc.  
621 West Street  
P.O. Box 1149  
608.662.1549 fax  
www.edgeconsult.com

**SURVEYED FOR:**

**Edge**  
Consulting Engineers, Inc.  
401 West Street  
P.O. Box 500  
Oshkosh, WI 54901  
TEL: 920.235.0001  
FAX: 920.235.0007  
www.edgeconsult.com

**SURVEYED FOR:**

**U.S. Cellular**  
8410 Bryn Mawr Avenue  
Chicago, IL 60631

**MERIDIAN**  
**SURVEYING, LLC**  
10774 Fireline 1  
Menasha, WI 54952  
TEL: 920.933.0801  
FAX: 920.273.8007

**SITE NAME:** BARABOO DT - WEST SQUARE  
**SITE NUMBER:** 785430  
**SITE ADDRESS:** 505 BROADWAY STREET  
BARABOO, WI 53913

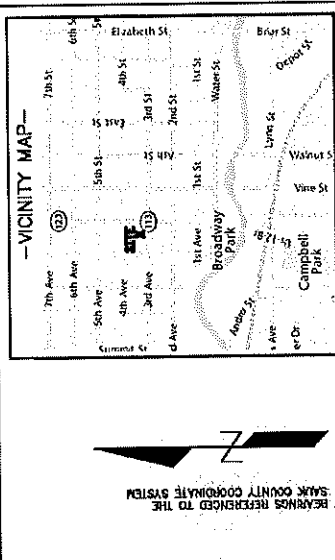
**PROPERTY OWNER:**  
SAUK COUNTY  
505 BROADWAY STREET  
BARABOO, WI 53913  
**PARCEL NO.:** 1505-00000  
**DEED:** REEL 652, PAGE 529  
DOCUMENT NO. 807661

**LEASE EXHIBIT**  
FOR  
**US CELLULAR**  
BEING A PART OF THE SET/4,  
SECTION 35, T.12N., R.6E., CITY OF  
BARABOO, SAUK COUNTY, WISCONSIN

|     |          |                    |      |
|-----|----------|--------------------|------|
| NO. | DATE     | DESCRIPTION        | BY   |
| 1   | 10-27-14 | Preliminary Survey | J.D. |
| 2   |          |                    |      |
| 3   |          |                    |      |
| 4   |          |                    |      |
| 5   |          |                    |      |
| 6   |          |                    |      |
| 7   |          |                    |      |
| 8   |          |                    |      |
| 9   |          |                    |      |
| 10  |          |                    |      |

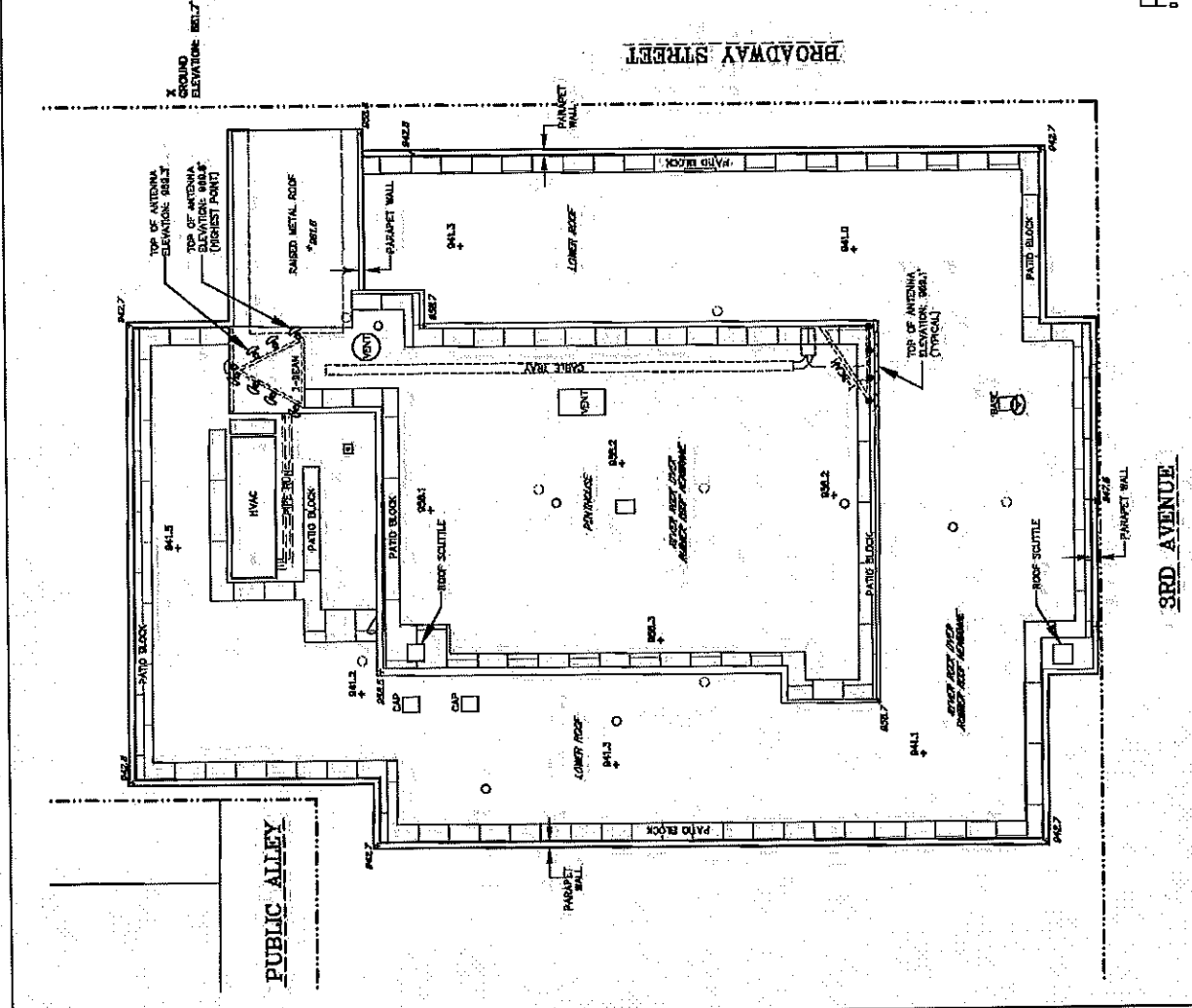
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| DRAWN BY:   | J.D.       | FIELD WORK | 10-24-14 |
| CHECKED BY: | S.C.D.     | FIELD BOOK | X        |
| JOB NO.     | 7850-81800 | SHEET      | 1 OF 1   |



**CENTER OF PENTHOUSE**  
LATITUDE: 43°-28'-13.04"  
LONGITUDE: 89°-44'-40.79"  
(Per North American Datum of 83/2011)  
Top of Antenna Elevation: 969.8'  
(Highest Point)  
Top of Roof Elevation: 958.2'  
Ground Elevation: 861.7'  
(Per North American Vertical Datum of 1988)

- LEGEND**
- = EXISTING 4" ROOF VENT
  - = EXISTING CELLULAR ANTENNA
  - = AIR CONDITIONER
  - △ = DOOR
  - = EXISTING ROOF DRAIN
  - ⊙ = EXISTING SATELLITE DISH

**SURVEYOR'S CERTIFICATE**  
I, Steven C. DeLong, Professional Land Surveyor, Wisconsin License No. 10000, do hereby certify that I am the author of the foregoing survey and that the same is a true and accurate representation thereof to the best of my knowledge and belief.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2014.  
STEVEN C. DELONG  
WISCONSIN PROFESSIONAL LAND SURVEYOR  
Steven C. DeLong, 54751





1. THE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, THE CELLULAR STANDARDS PLANS AND SPECIFICATIONS AND THE REFERENCED STANDARDS.
- a. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- b. UNIFORM BUILDING CODE (UBC) BUILDING OFFICIAL'S CODE ADMINISTRATOR (BOOK) AS APPLICABLE.
- c. AMERICAN CONCRETE INSTITUTE (ACI).
- d. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
- e. ELECTRONICS INDUSTRY ASSOCIATION (EIA) LATEST CURRENT VERSION ACCEPTED BY SUBJECT STATE.
- f. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

2. WHERE A CONFLICT OCCURS BETWEEN REFERENCED STANDARDS AND US CELLULAR STANDARD PLANS AND SPECIFICATIONS, THE MORE STRINGENT STANDARD SHALL APPLY.
3. THE FACILITY IS AN UNOCCUPIED SPECIALIZED MOBILE RADIO FACILITY.
4. PLANS ARE NOT TO BE SLOTTED AND ARE HEREBY TO BE A DISCREET/MAINTENANCE ONLY. UNLESS NOTED OTHERWISE THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
5. PERSONS IN THE AREA OF THE WORK SHALL BE ADVISED BY THE CONTRACTOR THAT THE JOB SITE WILL BECOME A HAZARDOUS AREA WITH THE FIELD CONDITIONS. ANY OCCURRENCES MUST BE IMMEDIATELY REPORTED TO THE CONTRACTOR'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY IDENTIFIED BY THE CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE NOTED.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING BEST SKILLED PERSONNEL. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION, ERECTION, INSTALLATION, REPAIRS, MAINTENANCE, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE LOCAL AND NEIGHBORING JURISDICTIONS REPRESENTATIVE.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
10. ALL WORK CONTRACTORS' ACTIVITIES MUST BE CONDUCTED TO PROTECT BELOW-GROUND CONDUITS PROVIDED. TRAFFIC CONTROL DEVICES, SIGNS, AND FLAGMEN IN ACCORDANCE WITH PART IV OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION SHALL BE PROVIDED BY THE CONTRACTOR.
11. THE CONTRACTOR SHALL COORDINATE THE ACCESS AND SECURITY WITH THE PROPERTY OWNER, AND US CELLULAR PRIOR TO CONSTRUCTION.
12. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES SUCH AS BUT NOT LIMITED TO: PAVING, CURBS, ASBESTICULAR CONDUITS, SANITARY TRUNKS, LANDSCAPING, EXISTING UTILITIES, ETC. AND UPON COMPLETION OF WORK REPAIR AS NECESSARY TO PAVING, CURBS, ASBESTICULAR CONDUITS, SANITARY TRUNKS, LANDSCAPING, EXISTING UTILITIES, ETC. TO LOCATE THEIR FACILITIES. THE PROPERTY OWNER SHALL BE NOTIFIED IN A SIMILAR MANNER TO ALLOW HIM/HER TO LOCATE THE PRIVATE UTILITIES.
13. THE LOCATIONS OF UTILITIES SHOWN ON THE PLAN ARE BASED ON EXISTING RECORDS, FIELD LOCATIONS OR OWNER-SUPPLIED INFORMATION AND MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES CAUSED BY THE CONTRACTOR'S WORK.
14. WORKING CONDITIONS APPLYING TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES. US CELLULAR SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION.
15. DAMAGE TO PUBLIC UTILITIES SHALL BE REPAIRED TO US CELLULAR AND THE OWNER, AS THE BUILT IN MANAGER. ANY DAMAGE RESULTING FROM CONSTRUCTION OR REPAIRS OF UTILITIES SHALL BE REPAIRED TO US CELLULAR AND THE OWNER'S REPRESENTATIVE.
16. UNLESS OTHERWISE NOTED ON THE PLAN, CONDUITS SHALL ASSUME ALL SURFACE FEATURES SUCH AS BUILDINGS, PAVEMENTS, LANDSCAPING, FENCES AND ETC. SHALL BE REPAIRED AND PROTECTED FROM DAMAGE.
17. KEYS ARE TO BE KEPT AND PROTECTED FROM DAMAGE.
18. KEEP THE CONSTRUCTION SITE CLEAN, MAINTAIN AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. WASTE REMOVAL IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SUBSTANCES OF ANY NATURE.
19. THE CONTRACTOR SHALL PROVIDE CONTAINMENT RECEPTACLES FOR COLLECTION OF NONHazardous DEBRIS. ALL TRASH SHALL BE COLLECTED ON A DAILY BASIS.
20. ALL TOXIC AND ENVIRONMENTALLY HAZARDOUS SUBSTANCES SHALL BE USED AND DISPOSED OF IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. UNLESS OTHERWISE NOTED, THERE SHALL BE NO DUMPING OF THESE SUBSTANCES ON THE SITE.
21. THE CONTRACTOR SHALL MAINTAIN AND SUPPLY US CELLULAR WITH AS-BUILT PLANS UPON COMPLETION OF THE PROJECT.
22. THE CONTRACTOR SHALL COORDINATE/ASSIST DIFFERENT TRADE CONTRACTORS IN TERMS OF COORDINATION AND SITE ACCESS.
23. ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, SYSTEMS AND COMPONENTS IN THE FACILITY SHALL BE INSTALLED TO BEST PRACTICE AND SNOW LOADS FOR THE FACILITY.

1. REMOVE GUTTERIONS AND REMOVAL OF EXISTING METALLIC OR STRUCTURES AS SHOWN ON THE PLANS AND AS SPECIFIED IN SPECIAL CONDITIONS. PROTECT EXISTING FACILITIES OF STRUCTURES THAT ARE TO REMAIN.
2. COMPLETE CONSTRUCTION IN A NEIGHBORLY MANNER BEGINNING AT THE HIGHEST LEVEL.
3. NOTIFY SAW CUT JOINTS AT THE LIMITS OF REMOVAL WHENEVER POSSIBLE LOCATE CLOSE AT EXISTING JOINTS.
4. PATCH AND REPAIR ANY DAMAGED SURFACES OF STRUCTURAL OR REMOVAL.
5. REMOVAL SPECIFICATIONS DERIVED FROM THE USE OF A VIBRATORY HAMMER, PERSONS SHALL BE REQUIRED TO COMPLY IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. REMOVAL OF STRUCTURES SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIAL PROVISIONS.

CLEANING AND GRADING

1. REMOVE TREES, STUMPS, SHRUBS, GRASS AND OTHER VEGETATION AS SHOWN ON THE PLANS TO ALLOW FOR CONSTRUCTION OF NEW CELLULAR FACILITIES.
2. WHEN POSSIBLE, MAINTAIN OR CUT BACK EXISTING TREE OR VEGETATION TO ALLOW FOR CONSTRUCTION OF NEW CELLULAR FACILITIES.
3. WHEN CLEANING TREES, PROTECT ALL SURROUNDING STRUCTURES, PAVEMENTS AND UNDERGROUND TAPPING, IRRIGATION AND JUNGLE GUT LINES.
4. COMPLETELY REMOVE ALL STUMPS AND ROOTS. STUMPS AND ROOTS MAY BE REMOVED BY GRABBING, CHIPPING OR GRINDING.
5. DISPOSAL OF ALL TREES OTHER THAN IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. BURNING OF WASTEWOOD SHALL NOT BE ALLOWED UNLESS OTHERWISE SPECIFIED IN THE SPECIAL PROVISIONS.

1. REACTIVE MATERIALS FROM ANY PROPOSED ROADS, PARKING AREAS, BUILDINGS AND AREAS TO REMAIN ARE TO BE PLACED IN A TIGHTLY SECURED FORK LIFT TRUCK OR OTHER CONTAINER.
2. ALL REELS DESIGNATED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION BY A FOOT HIGH TIGHT TENSION WIRE FENCING, OR PROTECTIVE SAFETY FENCING, SEE DETAIL 10-100-000-001.
3. GRAZE AREAS IN ACCORDANCE WITH ELEVATIONS AND CHANGES SHOWN ON THE PLANS OR, AS NECESSARY, IN GRADING TO PROVIDE DRAINAGE.
4. ALL MATERIAL USED IN GRAZING OPERATIONS SHALL CONSIST OF FERTILIZER WHICH IS FREE OF CHEMICALS, INCLUDING CHEMICALS THAT ARE TO BE PLACED IN

- [illegible]



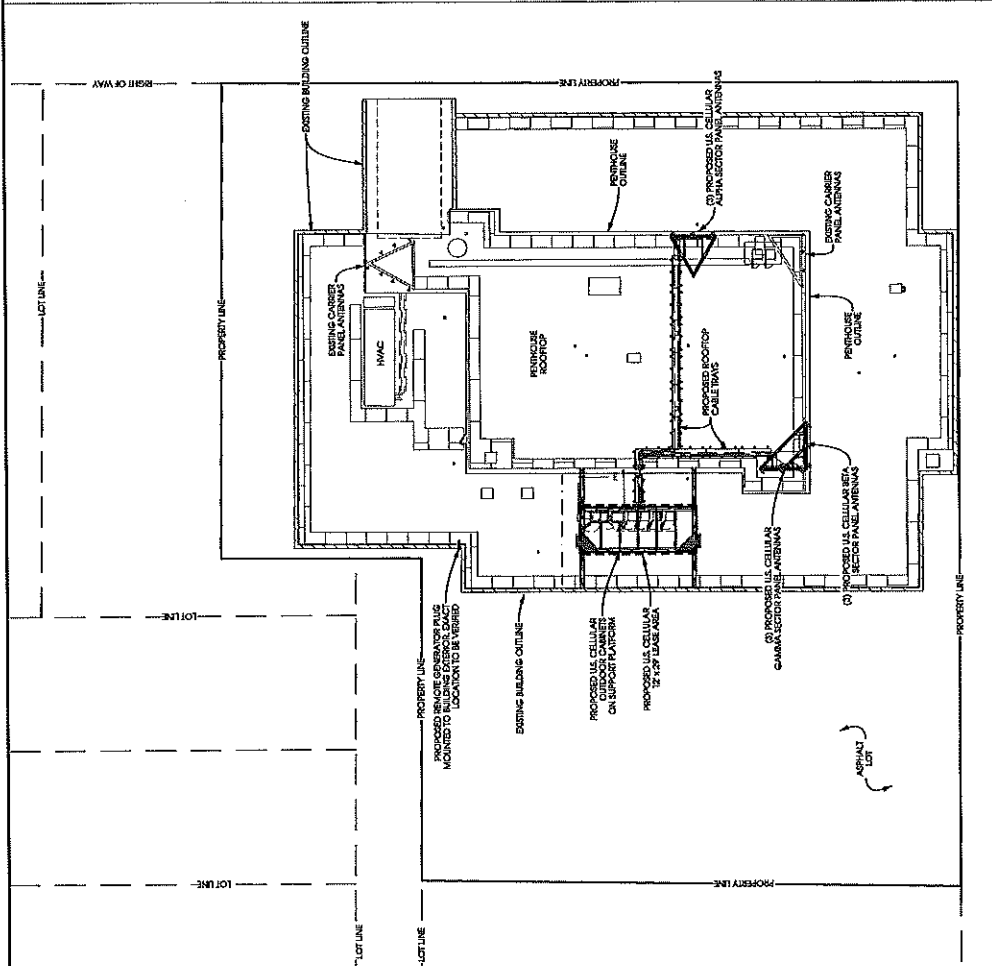
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|  | PREFILA CDA - 07/17/2016       |  |  |  |
|  |                                |  |  |  |
|  |                                |  |  |  |
|  | RECORDS:                       |  |  |  |
|  | PREFILA CDA - 07/17/2016       |  |  |  |
|  |                                |  |  |  |
|  |                                |  |  |  |
|  |                                |  |  |  |
|  | DRAWN BY:                      |  |  |  |
|  | CY                             |  |  |  |
|  | CREATED BY:                    |  |  |  |
|  | DCL                            |  |  |  |
|  | PLOT DATE:                     |  |  |  |
|  | 8/27/2015                      |  |  |  |
|  | PROJECT #                      |  |  |  |
|  | 19870                          |  |  |  |
|  | FILE NAME                      |  |  |  |
|  | CI-1591                        |  |  |  |

**SITE PLAN**  
BARABOO DT (785430)  
BARABOO, WISCONSIN

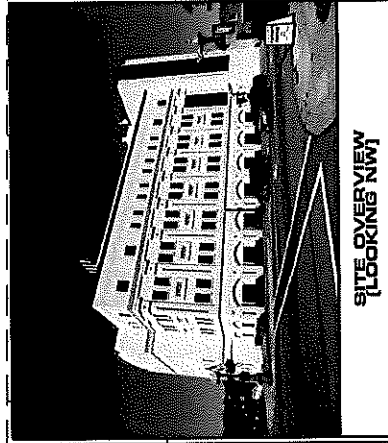
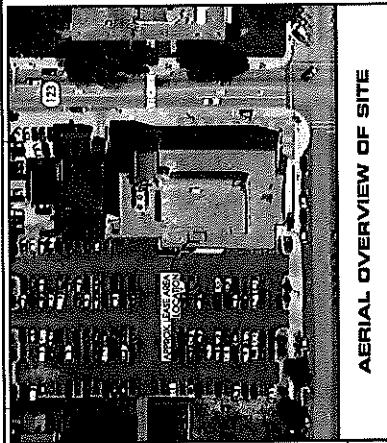
**Edge** Consulting Engineers, Inc.  
524 Wicker Street  
Proble du Soc. WI 53578  
608.644.1249 voice  
608.644.1549 fax  
www.edgeconsult.com

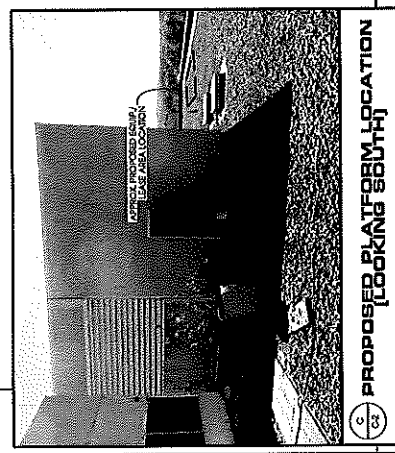
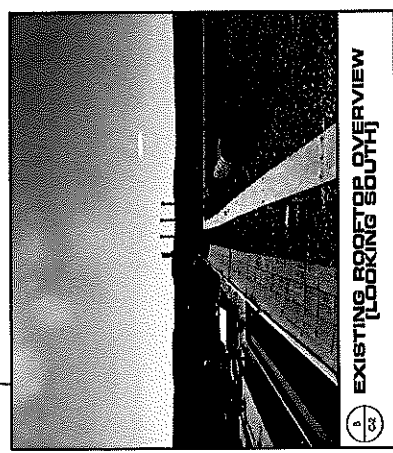
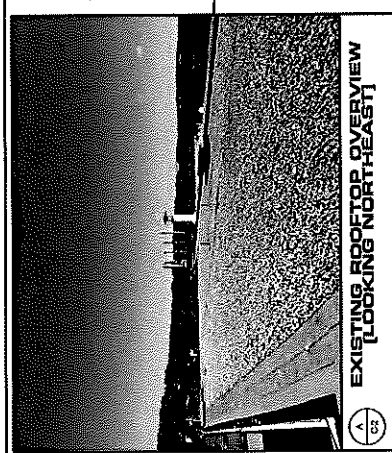
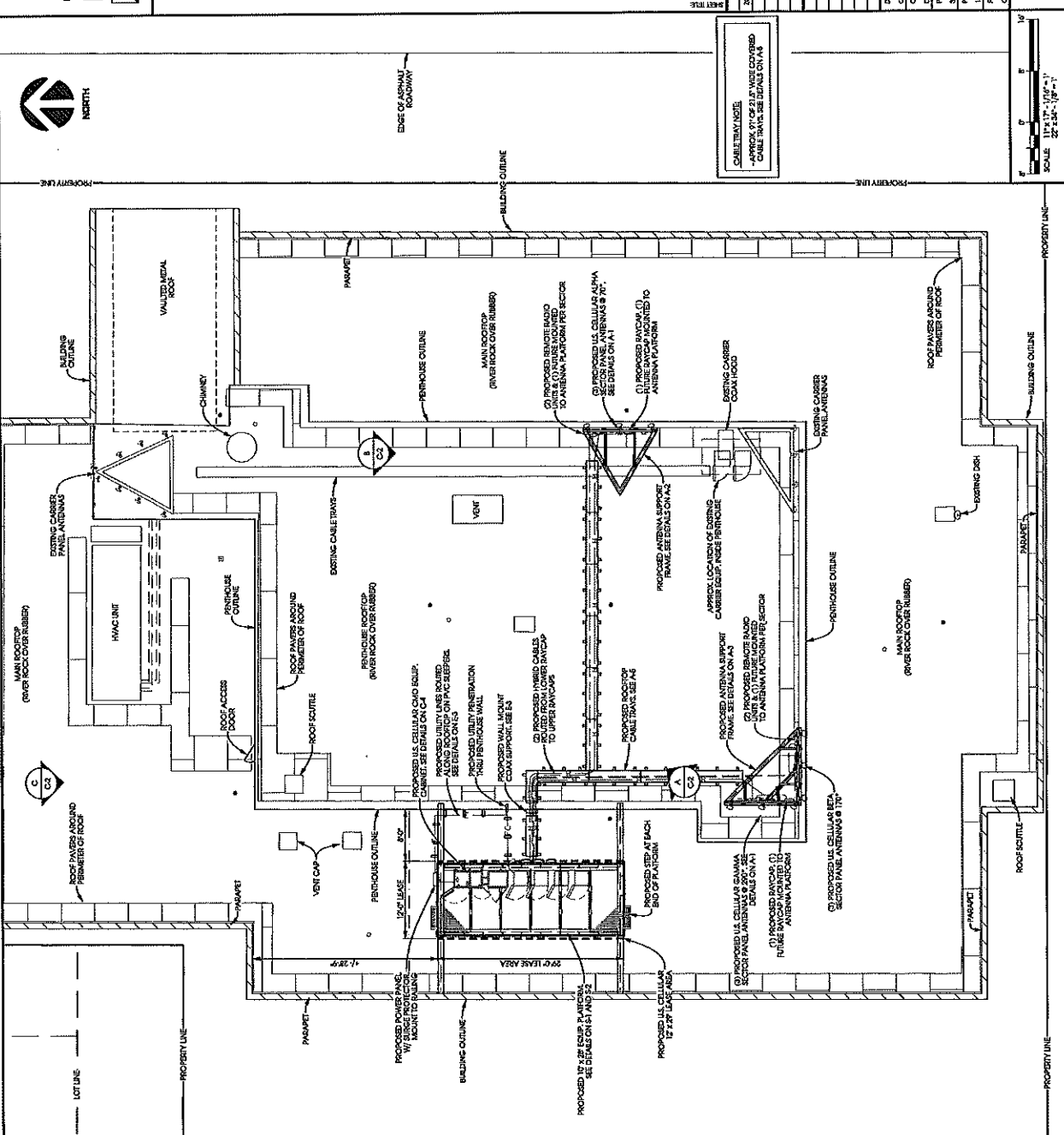


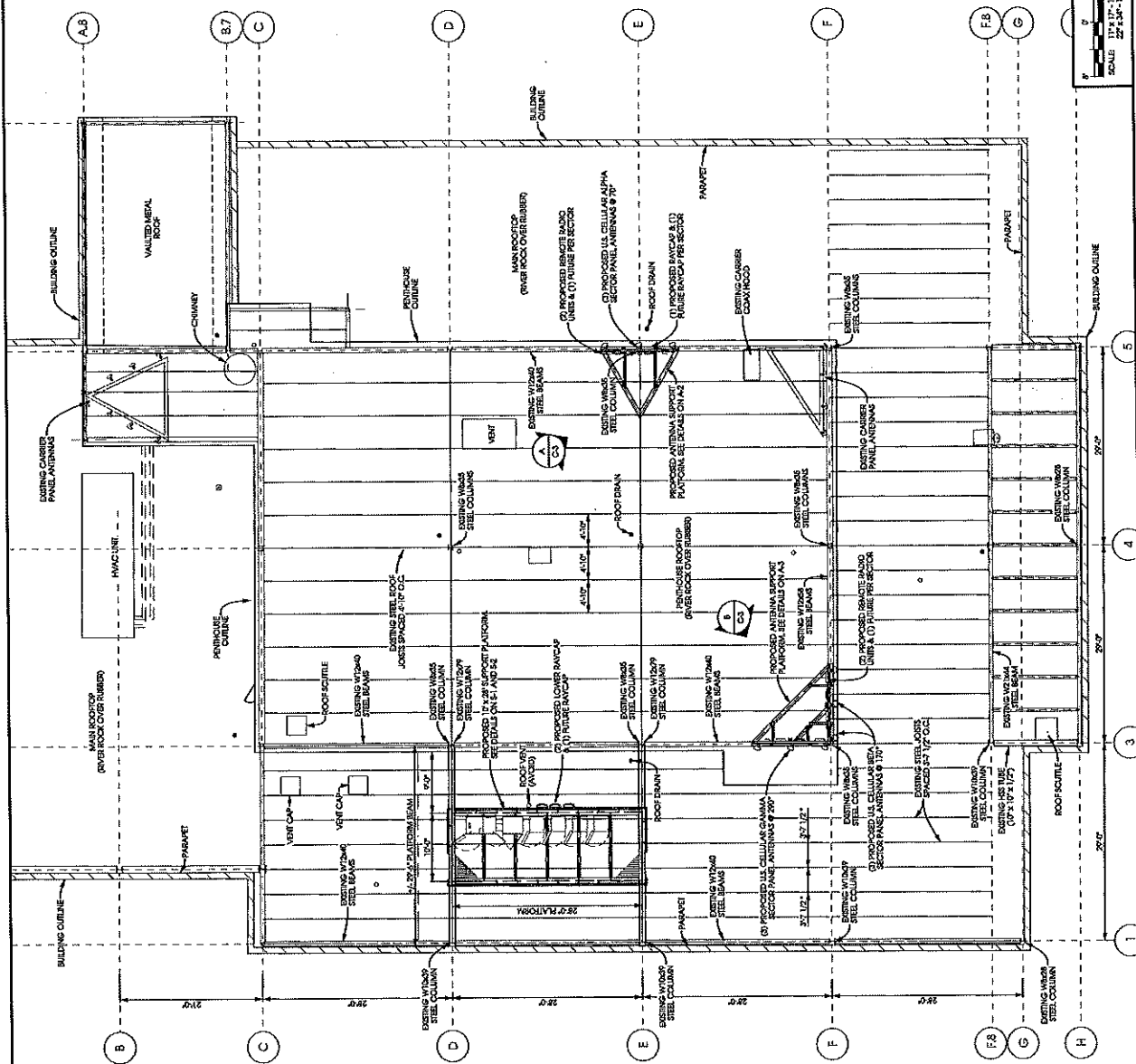
**BROADWAY ST.**



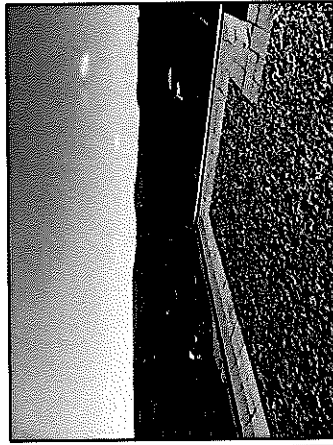
3RD AVENUE







**PROPOSED ALPHA SECTOR  
ANTENNA LOCATION**



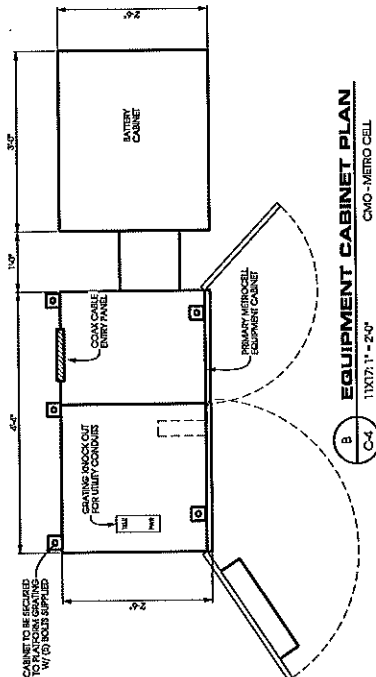
**PROPOSED BETA/ GAMMA  
SECTOR ANTENNA LOCATION**



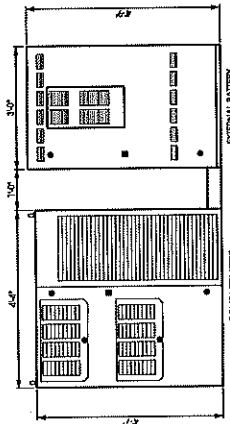
## INTERIOR OF PENTHOUSE ROOF JOISTS

|              |            |
|--------------|------------|
| DATE DATE    | 10/26/2014 |
| FORM DRAWING | 10/26/2014 |
| PROJECT C/P  | 02/17/2015 |
| PROJECT #    | 10910      |
| FILE NAME    |            |
| SHEET NAME   | C-4        |

**EQUIPMENT CABINET PLAN**  
11X17: 1" = 2'-0" CMO-METRO CELL



| C  | EQUIPMENT ELEVATION | CMO - METRO CELL |
|----|---------------------|------------------|
| C4 | 11X17; NOT TO SCALE |                  |



**NOTE:** ERICSSON IS RESPONSIBLE FOR FINAL INSTALLATION OF PROPOSED BBS 6101 BATTERY SYSTEM WITH ASSOCIATED PLUMBING AND EQUIPMENT. CONTRACTOR TO VERIFY EQUIPMENT REQUIREMENTS WITH ERICSSON PRIOR TO INSTALLATION.

**CLEARANCE REQUIREMENTS:**

- FRONT: 600 mm (27 in)
- REAR: 200 mm (8 in)
- LEFT: 435 mm (17 in)
- RIGHT: 50 mm (2 in)

**FEATURES AND TECHNICAL SPECIFICATIONS:**

**DESCRIPTION:**

A 48 VDC OUTDOOR BATTERY BACKUP SYSTEM. EXTERNAL BATTERIES ARE SHUT FOR GREATER CAPACITY, FUEL EFFICIENCY.

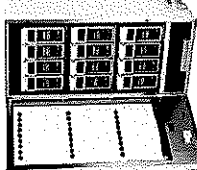
**DIMENSIONS (L x W x D):**

(1464 mm) x (667 mm) x (777 mm)  
(58 in.) x (26 1/4 in.) x (31 in.)

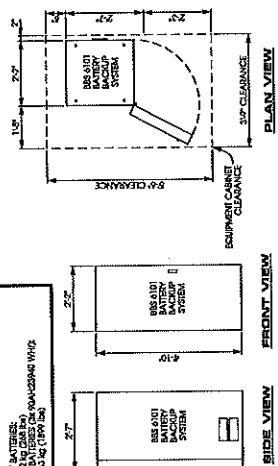
**WEIGHT:**

WITHOUT BATTERIES:  
22 kg (49 lb)  
WITH BATTERIES: 100 kg (220 lb)

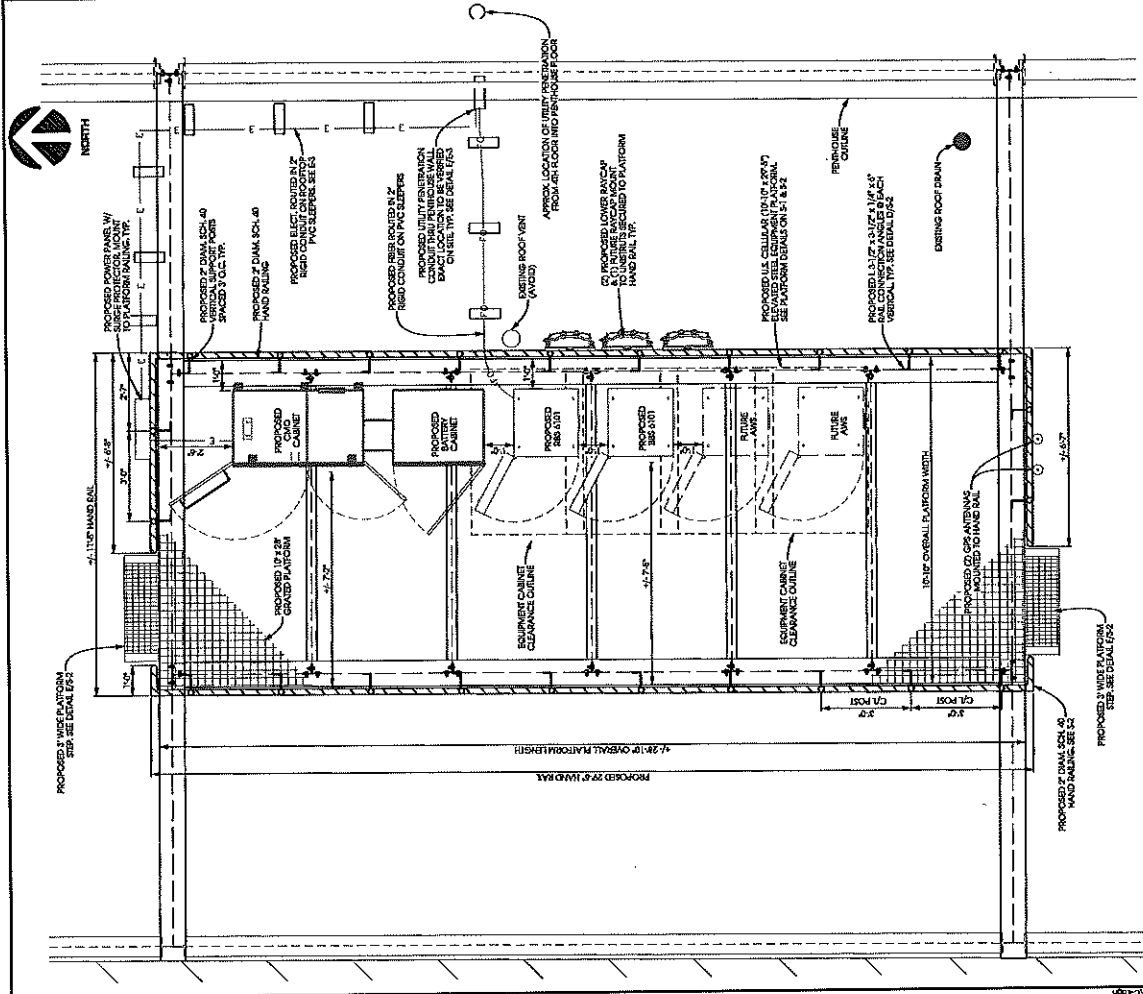
**WARRANTY:** 5 YEAR/50,000 CYCLE/5 YEAR



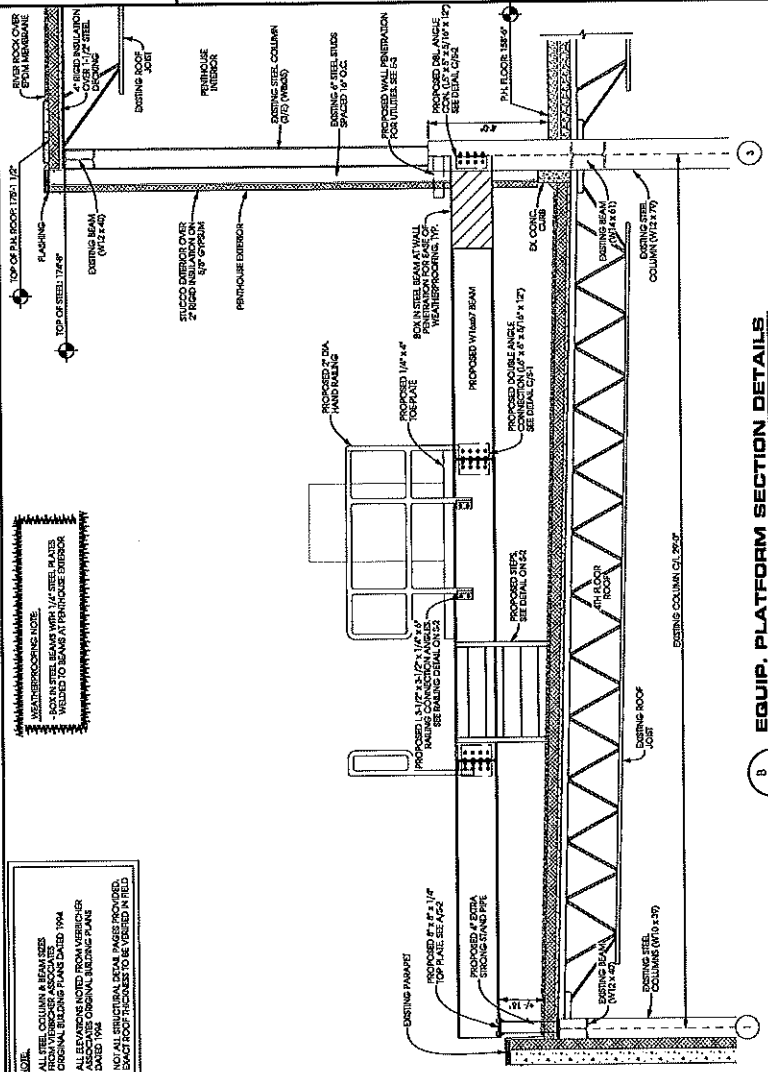
**BATTERY BACKUP SYSTEM**



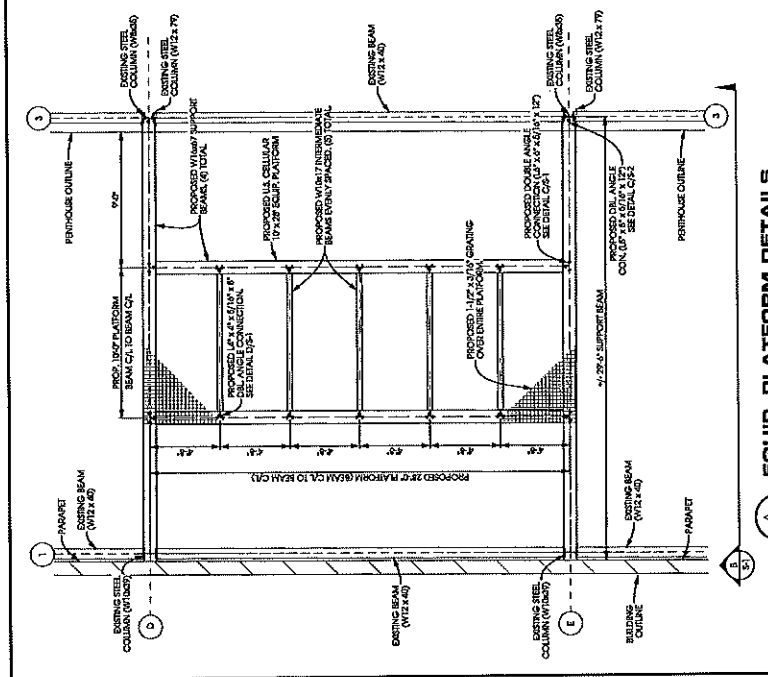
**A EQUIP. CABINET LAYOUT PLAN**



### **EQUIP. PLATFORM SECTION DETAILS**



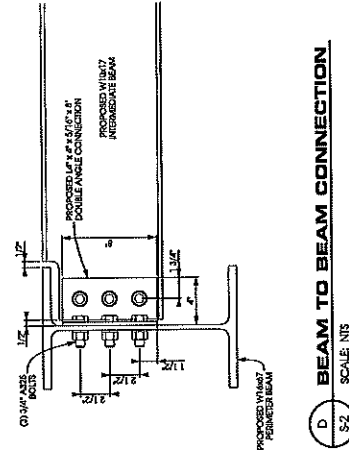
## **EQUIP. PLATFORM DETAILS**



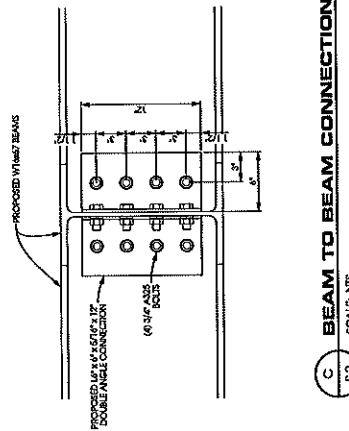
**GENERAL MATERIAL NOTES:**

[illegible]

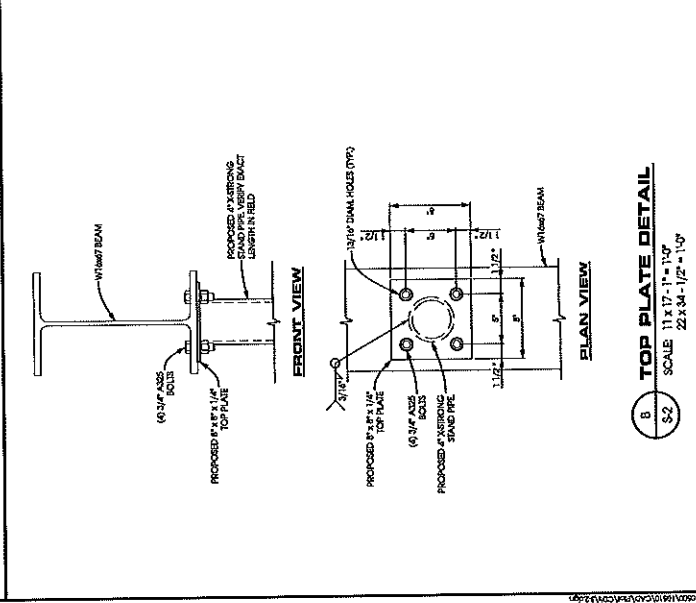
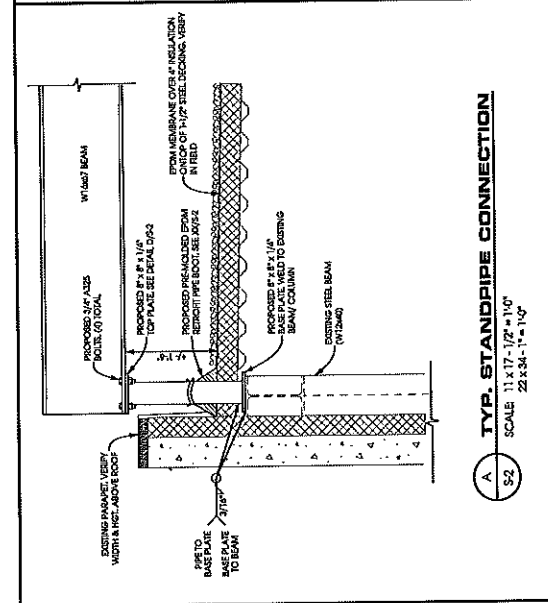
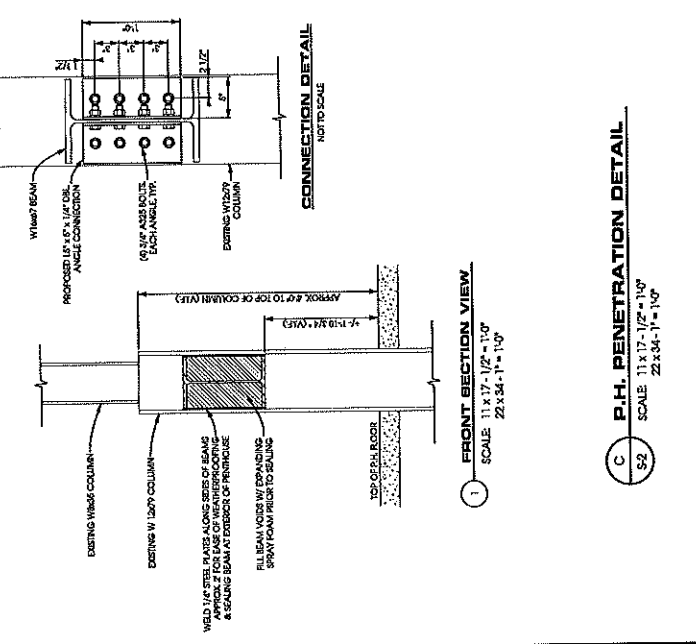
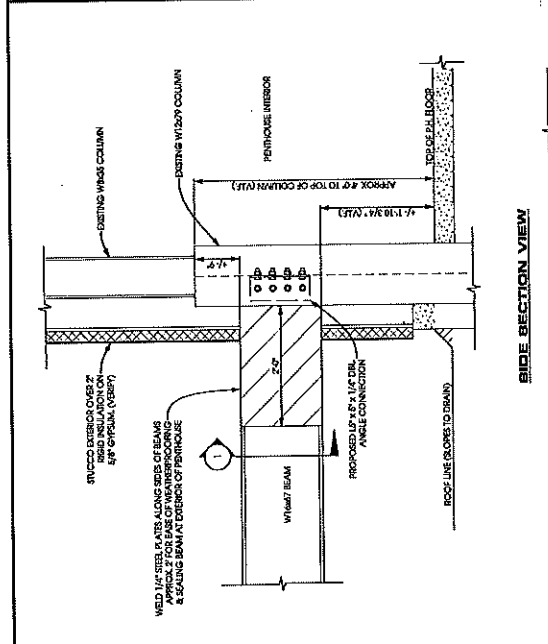
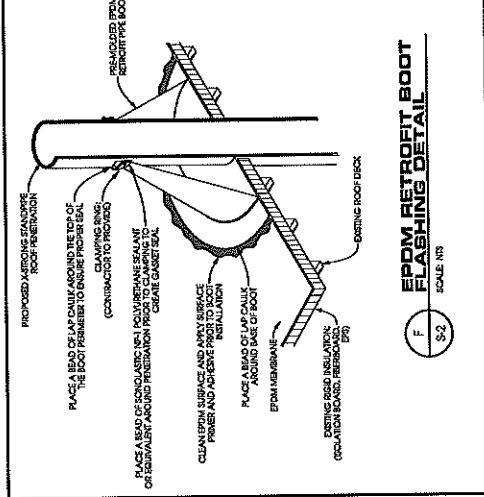
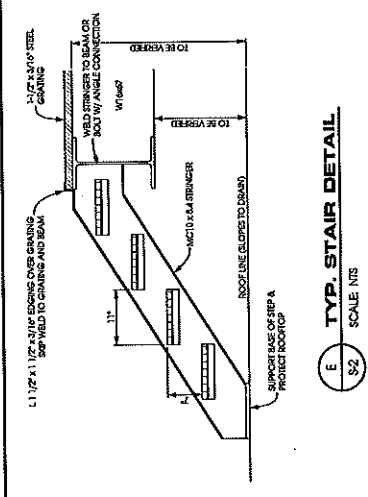
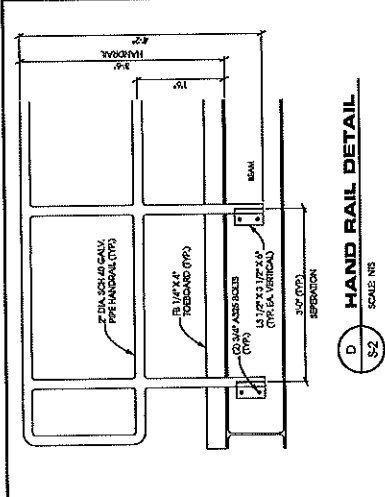
## BEAM TO BEAM CONNECTION



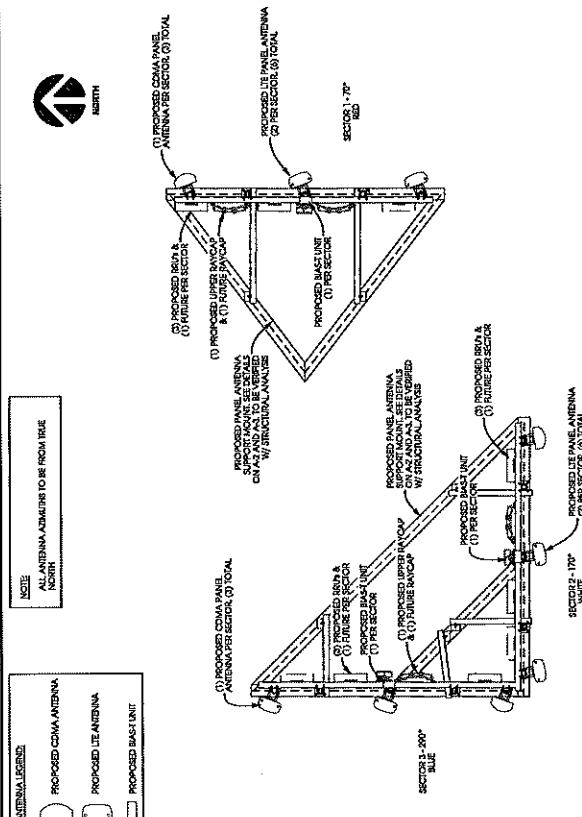
## BEAM TO BEAM CONNECTION



|              |            |
|--------------|------------|
| DATE         | 10/20/10   |
| DESIGNED BY  | WJH        |
| CHECKED BY   | WJH        |
| NOTED BY     | WJH        |
| DATE         | 10/20/10   |
| PROJECT      | BARABOO DT |
| NO.          | 1          |
| NAME         | WJH        |
| SCALE        | AS SHOWN   |
| SHEET NUMBER | S-2        |







**USE SOURCE INFORMATION TO VERIFY & PROVIDE REF. INFORMATION**

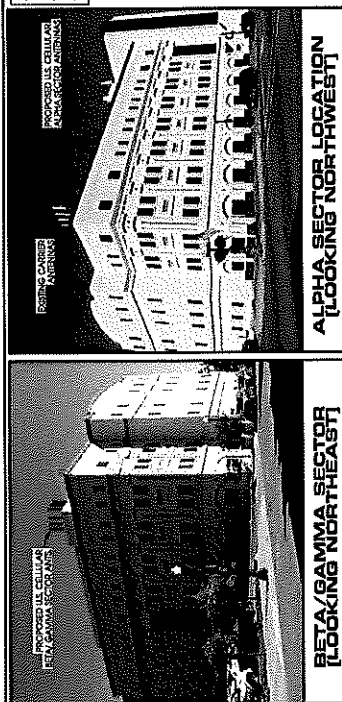
**LTE & COMA**

|                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>USE SCOTCH WINT TAPE IS AVAILABLE AT GUNTER'S OR LOCAL M/D DISTRIBUTOR.</p> | <p>NOTES</p> <ol style="list-style-type: none"> <li>1. BEGIN SECTION BAND W/ 1/4" FROM CABLE TERMINATION.</li> <li>2. SECTION PORTION BANDS INCLUDE LINE 1, LINE 2, ETC. REPEAT FOR EACH WIRE TECHNOLOGY.</li> <li>3. WIRE TECHNOLOGIES ARE IDENTIFIED BY THE COLOR OF THE BANDS REQUIRED TO BE USED.</li> <li>4. WIRE TECHNOLOGIES SHOULD BE IDENTIFIED BY THE COLOR OF THE BANDS REQUIRED TO BE USED.</li> </ol> |
|--------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**B ANTENNA PLATFORM ASSIGNMENT**  
 A-1 SCALE: NTS SEE E2 FOR HYBRID CABLE COLOR CODING

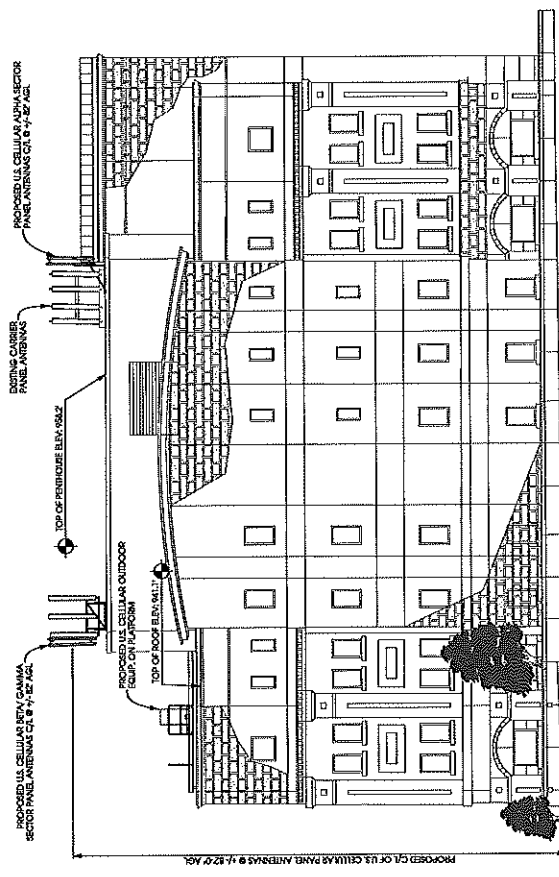
NOTES \_\_\_\_\_  
CONTRACTOR TO VERIFY HEIGHT AND DIRECTION OF  
ANTENNA WITH PROJECT MANAGER  
ALL ANTENNA AZIMUTHS TO BE FROM TRUE NORTH

| CHINA - JAPANESE GASELLE 1980 |          |
|-------------------------------|----------|
| AREA                          | AREA     |
| AREA 1                        | AREA 1   |
| AREA 2                        | AREA 2   |
| AREA 3                        | AREA 3   |
| AREA 4                        | AREA 4   |
| AREA 5                        | AREA 5   |
| AREA 6                        | AREA 6   |
| AREA 7                        | AREA 7   |
| AREA 8                        | AREA 8   |
| AREA 9                        | AREA 9   |
| AREA 10                       | AREA 10  |
| AREA 11                       | AREA 11  |
| AREA 12                       | AREA 12  |
| AREA 13                       | AREA 13  |
| AREA 14                       | AREA 14  |
| AREA 15                       | AREA 15  |
| AREA 16                       | AREA 16  |
| AREA 17                       | AREA 17  |
| AREA 18                       | AREA 18  |
| AREA 19                       | AREA 19  |
| AREA 20                       | AREA 20  |
| AREA 21                       | AREA 21  |
| AREA 22                       | AREA 22  |
| AREA 23                       | AREA 23  |
| AREA 24                       | AREA 24  |
| AREA 25                       | AREA 25  |
| AREA 26                       | AREA 26  |
| AREA 27                       | AREA 27  |
| AREA 28                       | AREA 28  |
| AREA 29                       | AREA 29  |
| AREA 30                       | AREA 30  |
| AREA 31                       | AREA 31  |
| AREA 32                       | AREA 32  |
| AREA 33                       | AREA 33  |
| AREA 34                       | AREA 34  |
| AREA 35                       | AREA 35  |
| AREA 36                       | AREA 36  |
| AREA 37                       | AREA 37  |
| AREA 38                       | AREA 38  |
| AREA 39                       | AREA 39  |
| AREA 40                       | AREA 40  |
| AREA 41                       | AREA 41  |
| AREA 42                       | AREA 42  |
| AREA 43                       | AREA 43  |
| AREA 44                       | AREA 44  |
| AREA 45                       | AREA 45  |
| AREA 46                       | AREA 46  |
| AREA 47                       | AREA 47  |
| AREA 48                       | AREA 48  |
| AREA 49                       | AREA 49  |
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| AREA 51                       | AREA 51  |
| AREA 52                       | AREA 52  |
| AREA 53                       | AREA 53  |
| AREA 54                       | AREA 54  |
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| AREA 56                       | AREA 56  |
| AREA 57                       | AREA 57  |
| AREA 58                       | AREA 58  |
| AREA 59                       | AREA 59  |
| AREA 60                       | AREA 60  |
| AREA 61                       | AREA 61  |
| AREA 62                       | AREA 62  |
| AREA 63                       | AREA 63  |
| AREA 64                       | AREA 64  |
| AREA 65                       | AREA 65  |
| AREA 66                       | AREA 66  |
| AREA 67                       | AREA 67  |
| AREA 68                       | AREA 68  |
| AREA 69                       | AREA 69  |
| AREA 70                       | AREA 70  |
| AREA 71                       | AREA 71  |
| AREA 72                       | AREA 72  |
| AREA 73                       | AREA 73  |
| AREA 74                       | AREA 74  |
| AREA 75                       | AREA 75  |
| AREA 76                       | AREA 76  |
| AREA 77                       | AREA 77  |
| AREA 78                       | AREA 78  |
| AREA 79                       | AREA 79  |
| AREA 80                       | AREA 80  |
| AREA 81                       | AREA 81  |
| AREA 82                       | AREA 82  |
| AREA 83                       | AREA 83  |
| AREA 84                       | AREA 84  |
| AREA 85                       | AREA 85  |
| AREA 86                       | AREA 86  |
| AREA 87                       | AREA 87  |
| AREA 88                       | AREA 88  |
| AREA 89                       | AREA 89  |
| AREA 90                       | AREA 90  |
| AREA 91                       | AREA 91  |
| AREA 92                       | AREA 92  |
| AREA 93                       | AREA 93  |
| AREA 94                       | AREA 94  |
| AREA 95                       | AREA 95  |
| AREA 96                       | AREA 96  |
| AREA 97                       | AREA 97  |
| AREA 98                       | AREA 98  |
| AREA 99                       | AREA 99  |
| AREA 100                      | AREA 100 |



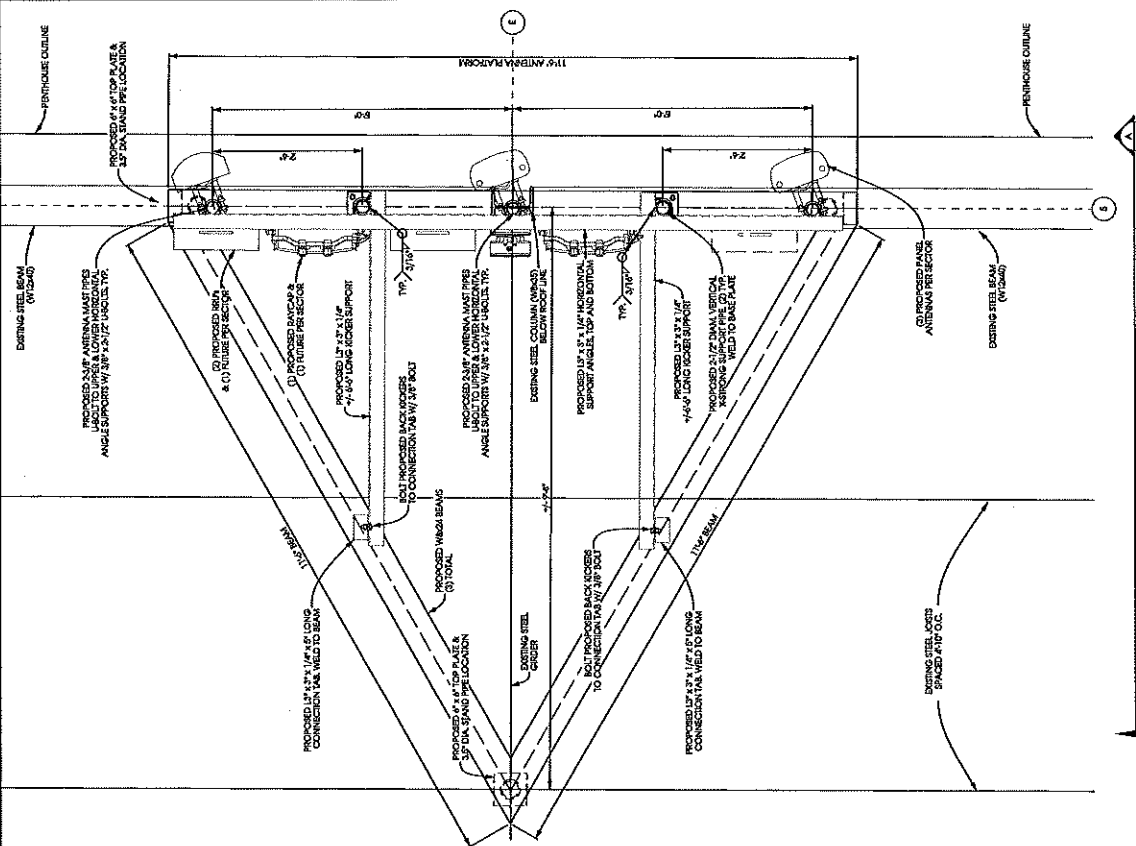
**COLLOCATION NOTE**

STRUCTURAL ANALYSES TO BE COMPLETED. CONTRACTOR TO THOROUGHLY REVIEW THE STRUCTURAL ANALYSIS FOR INFORMATION PERTAINING TO BUILDING UPGRADE, INCLUDING TYPE, ANTENNA HEIGHTS, AND COAX ROUTING. FINAL ANALYSES DISCREPANCIES BETWEEN THE BUILDING AND THE ANTENNA AND BUILDING ANALYSIS SHOULD BE REPORTED TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING AND INSTALLATION.

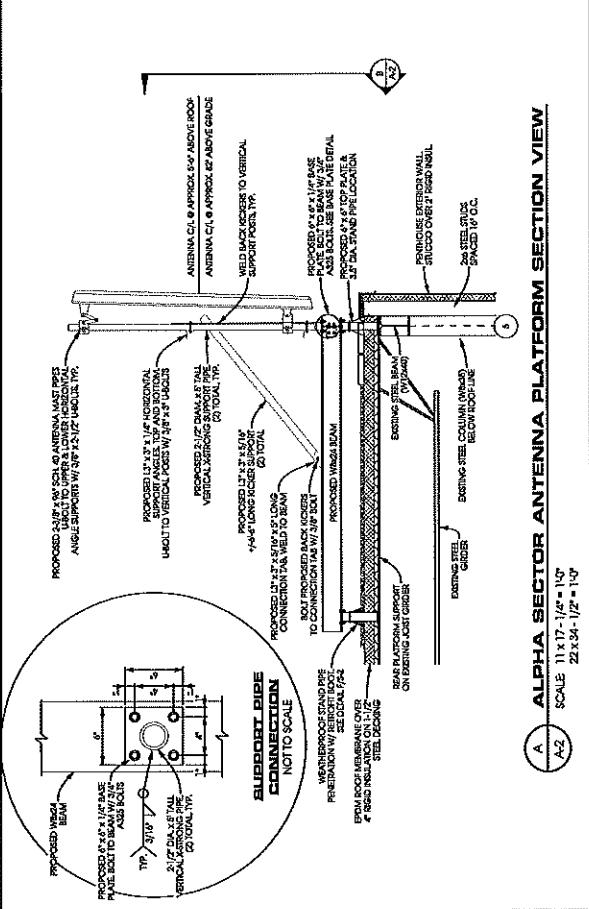


**A TOWER PROFILE (SOUTH ELEVATION)**

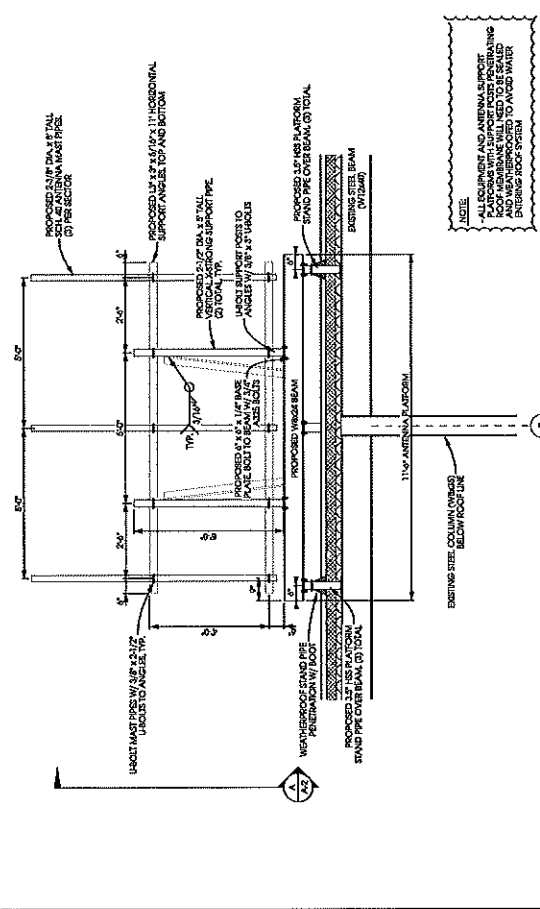
|  |                                |
|--|--------------------------------|
|  | BUILD NAME                     |
|  | DORNING DRANKINS - 107692014   |
|  | PRIELM CD# : 001772014         |
|  |                                |
|  |                                |
|  | PRINCE OF PEACE                |
|  |                                |
|  | PRIELM CD# : 001772014         |
|  |                                |
|  |                                |
|  | CROWN EYE<br>CV                |
|  | CHICKED INC.                   |
|  | DOE                            |
|  | FIRST DATE<br>8/17/2018        |
|  | PROJECT #<br>10010             |
|  | FILE NAME:<br>A-2.dgn          |
|  | SHEET NUMBER<br>SHEET 13 OF 17 |



**C ALPHA SECTOR ANTENNA PLATFORM PLAN VIEW**



**ALPHA SECTOR ANTENNA PLATFORM SECTION VIEW**



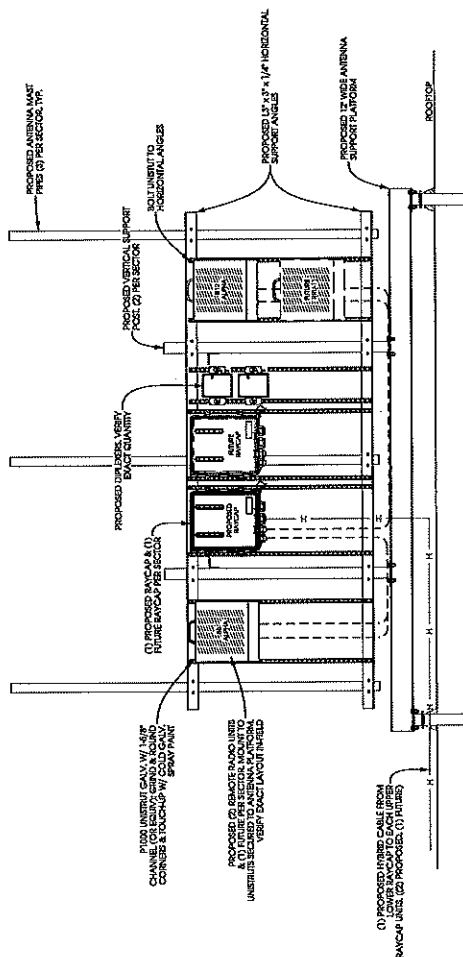
8 ALPHA SECTOR ANTENNA PLATFORM FRONT VIEW

**NOTE:**  
-ALL EQUIPMENT AND ANTENNA SUPPORT PLATFORMS WITH SUPPORT POSTS PENETRATING ROOF MEMBRANE WILL NEED TO BE SEALED AND WEATHERPROOFED TO AVOID WATER ENTERING ROOF SYSTEM

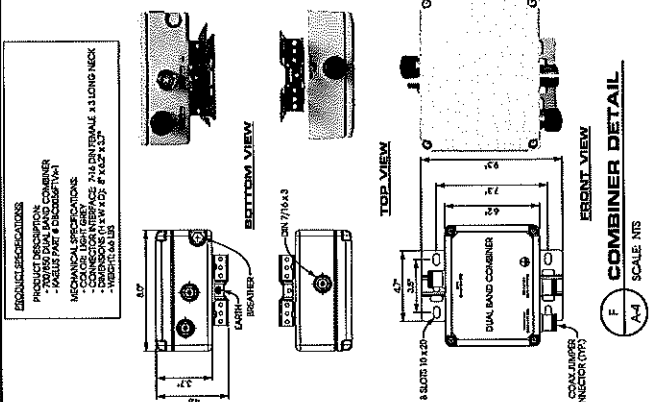
**Abstract**

[illegible]

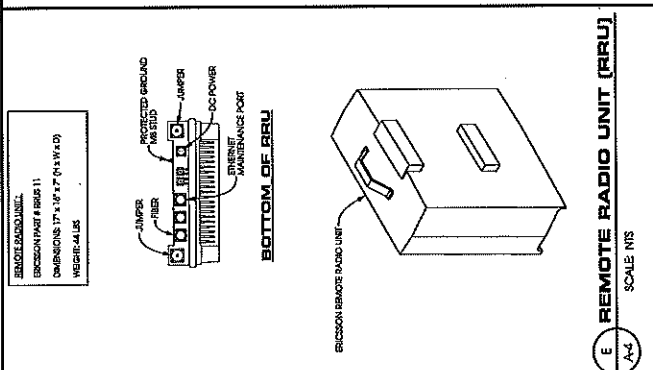
THE UNIVERSITY OF CHICAGO



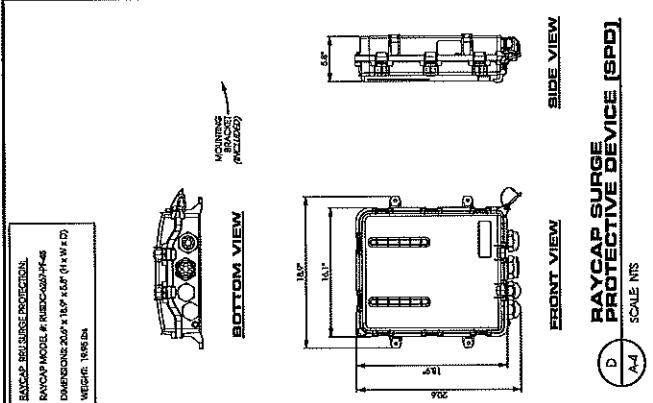
**C TYP. REMOTE RADIO & RAYCAP MOUNTING DETAIL**



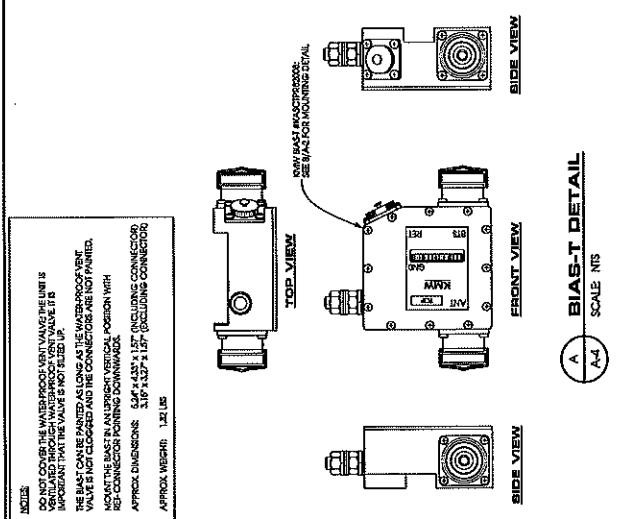
FRONT VIEW



**REMOTE RADIO UNIT (RRU)**



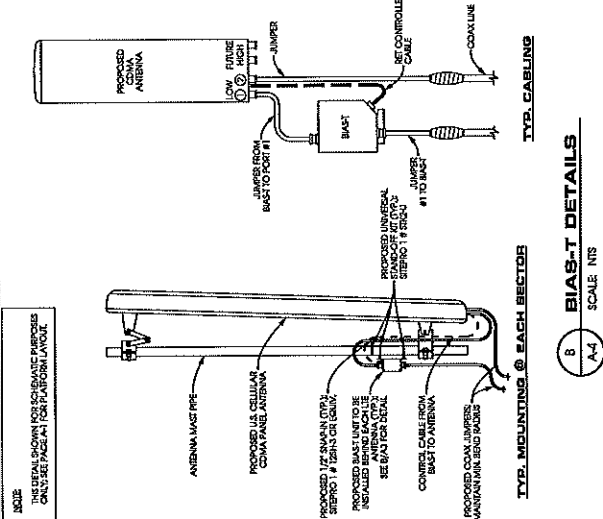
RAYCAP SURGE  
PROTECTIVE DEVICE (SPD)



**BIAS-T DETAIL**

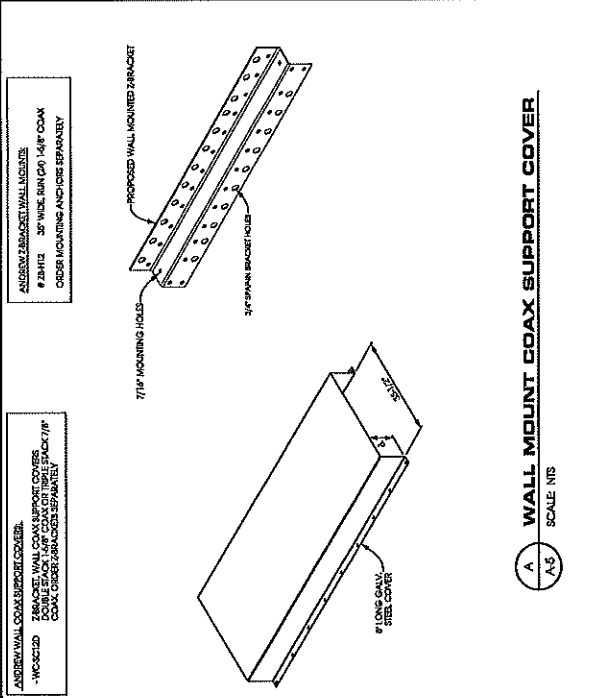
A SCALE NTS

A-4

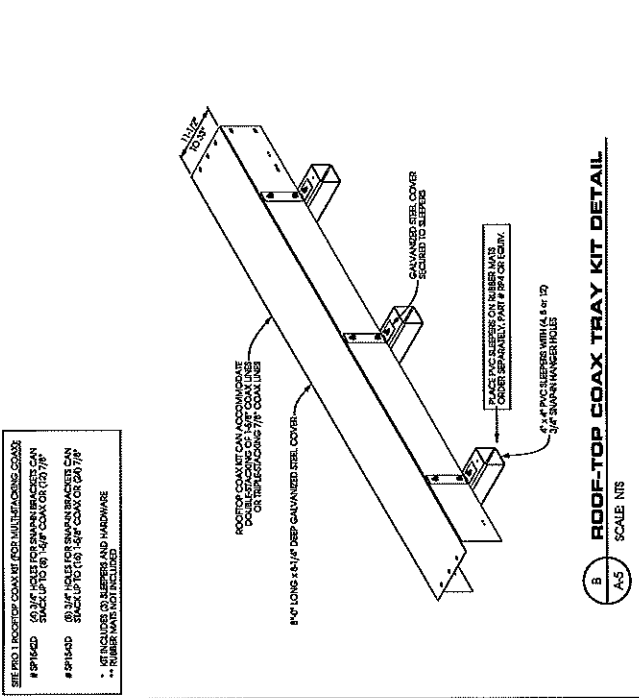


TYP. MOUNTING @ EACH SECTOR

**BIAS-T DETAILS**  
SCALE: NTS



**A WALL MOUNT COAX SUPPORT COVER**  
SCALE: NTS



**B ROOF-TOP COAX TRAY KIT DETAIL**  
SCALE: NTS

| RRU # | Ref. Housing | RRU End | MU End |
|-------|--------------|---------|--------|
| 1     | 48V 0V       |         |        |
| 2     | 48V 0V       |         |        |
| 3     | 48V 0V       |         |        |
| 4     | 48V 0V       |         |        |
| 5     | 48V 0V       |         |        |
| 6     | 48V 0V       |         |        |
| 7     | 48V 0V       |         |        |
| 8     | 48V 0V       |         |        |
| 9     | 48V 0V       |         |        |

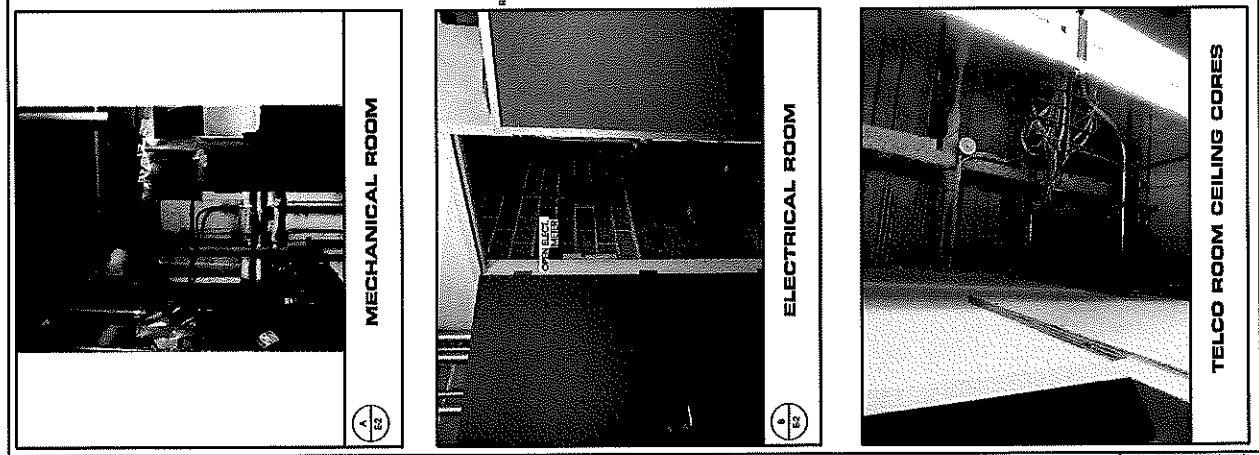
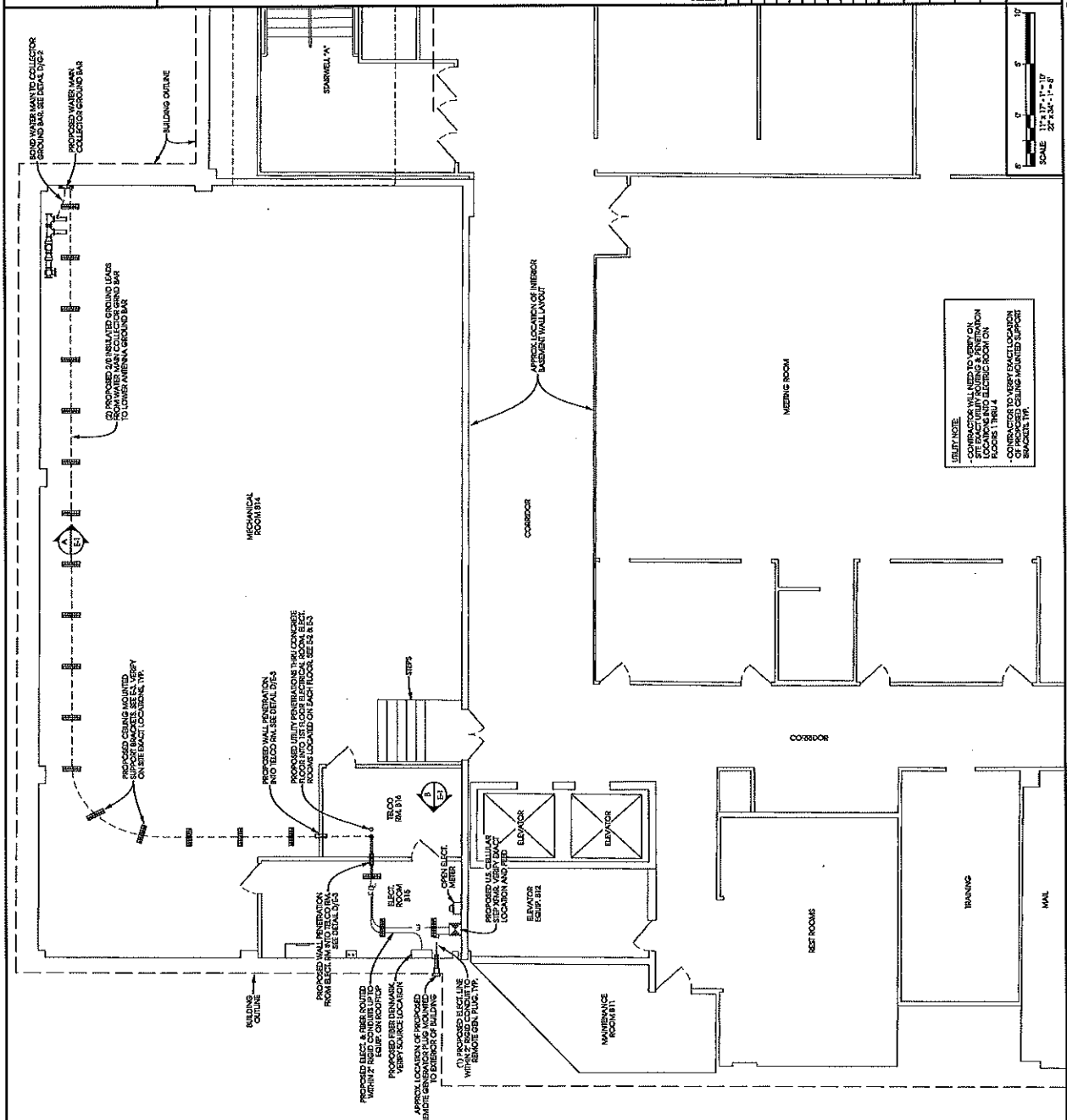
| RRU | RRU End | MU End |
|-----|---------|--------|
| 1   | 1 2     | A B    |
| 2   | 1 2     | A B    |
| 3   | 1 2     | A B    |
| 4   | 1 2     | A B    |
| 5   | 1 2     | A B    |
| 6   | 1 2     | A B    |
| 7   | 1 2     | A B    |
| 8   | 1 2     | A B    |
| 9   | 1 2     | A B    |

**HYBRID CABLE COLOR CODING**

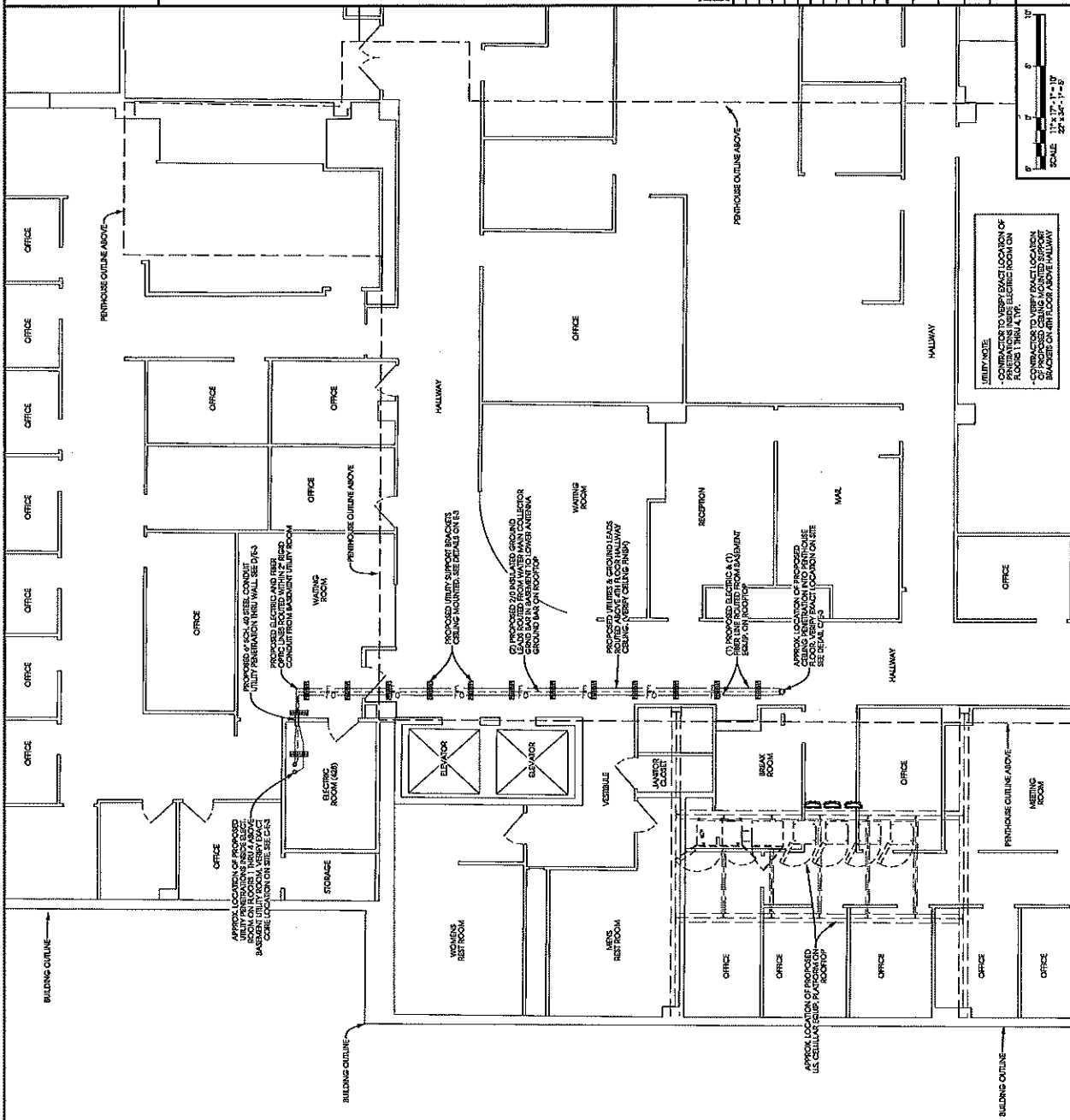


- | GROUNDING SCHEDULE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|
| ▲                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | CABLED CONNECTION              |
| ■                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | MECHANICAL SURROUND CONNECTION |
| -----                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | #2 STRANDED INSULATED          |
| -----                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | 2/0 INSULATED GROUND LEAD      |
| NOTE:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                |
| 1. ALL GROUND LEAD EXTENSIONS FROM BELOW GRADE SHALL BE MINIMUM OF 6" ABOVE GRADE FOR TENDING PURPOSES.<br>2. ALL GROUND LEADS EXTENDING FROM BELOW GRADE SHALL BE CABLED OR COMBINED CABLED AND MECHANICAL SURROUND CONNECTIONS.<br>3. PRIOR TO FINAL COMPANION CONTRACTOR SHALL BE REQUIRED TO PROVIDE TO VERIFY 4" DIA OR LESS CRITERIA FOR ALL GROUND LEADS. ALL GROUND LEADS SHALL BE AS PER REQUIRED. FINAL TEST RESULTS SHALL BE DOCUMENTED.<br>4. CHANGES TO BE LIMITED TO REPAIR OF SHALLOW REPAIRS ONLY. ANY CHANGES TO BE MADE TO EXISTING GROUNDING SYSTEMS SHALL BE APPROVED BY THE CONTRACTOR AND THE ENGINEER. ANY CHANGES TO BE MADE TO EXISTING GROUNDING SYSTEMS SHALL BE APPROVED BY THE CONTRACTOR AND THE ENGINEER. ANY CHANGES TO BE MADE TO EXISTING GROUNDING SYSTEMS SHALL BE APPROVED BY THE CONTRACTOR AND THE ENGINEER. |                                |









**UTILITY NOTE**

- CONTRACTOR TO VERIFY EXACT LOCATION OF PENETRATIONS INSIDE ELECTRIC ROOM ON FLOORS 1 THRU 4, 1P.
- CONTRACTOR TO VERIFY EXACT LOCATION OF PROPOSED CEILING MOUNTED SUPPORT BRACKETS ON 4TH FLOOR ABOVE HALLWAY

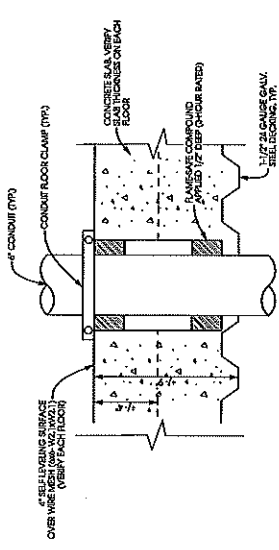
## 4TH FLOOR ELECTRICAL ROOM

### UTILITY ROUTING ALONG HALLWAY ABOVE CEILING

## FLOOR PENETRATION INTO PENTHOUSE INTERIOR

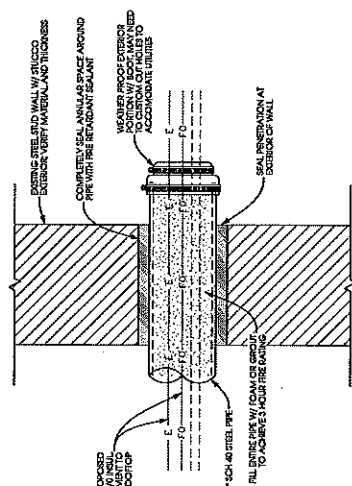
**NOTES:**  
CONTRACTOR TO X-RAY PRIOR TO DRILLING  
OR CORING TO LOCATE EXISTING RE-BAR.  
DO NOT CUT RE-BAR.

**NOTE**  
GROUT & FIRE RETARDANT SEAL  
TO ACHIEVE 3-HOUR FIRE RATING



**C PRECAST FLOORING/CEILING CORE DETAIL**  
SCALE: NTS  
E3

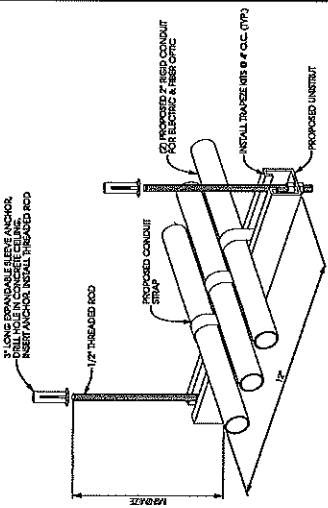
**NOTES:**  
CONTRACTOR TO ENSURE WATER TIGHTNESS  
AT PENTHOUSE EXTERIOR PENETRATION.



**E EXTERIOR WALL CORE DETAIL**  
**E3** SCALE: NTS (AT ROOF)

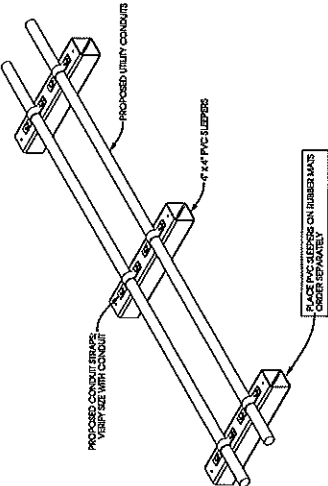
**NOTE**  
GROUT & FIRE RETARDANT SEAL  
TO ACHIEVE 3-HOUR FIRE RATINGS

**NOTE**  
GROUT & FILL RETARDANT SEAL  
TO ACHIEVE 3-HOUR FIRE RATING



**B UTILITY CONDUIT TRAPEZE DETAIL**  
E3 SCALE: NTS

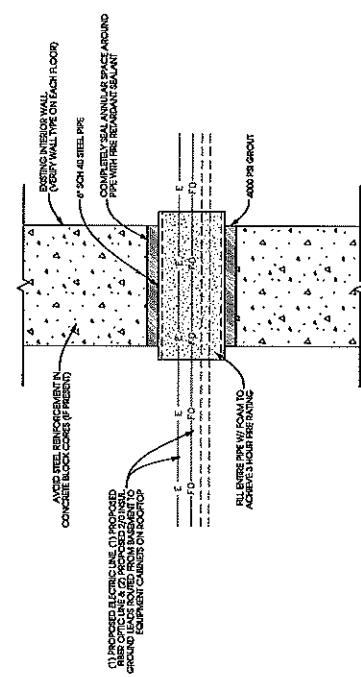
**SITE PRO 1 PVC ROOFTOP SLURPERS**



**A ROOFTOP CONDUIT ROUTING**  
E3 SCALE NTS

**PENETRATION NOTE:**

- (2) PROPOSED PENETRATIONS LOCATED IN BASEMENT UTILITY ROOMS. SEE 5-1
- (2) PROPOSED PENETRATIONS LOCATED ON 4TH FLOOR. SEE 5-2



**D** **INTERIOR COAX PENETRATION DETAIL**  
E3 SCALE: NTS (AT BASEMENT)

[illegible][illegible][illegible][illegible]

EDGE CONSTRUCTING ENGINEERS, INC.

| TERMINATION RATING | CONDUCTOR INSULATION RATING |                                   |                                   |
|--------------------|-----------------------------|-----------------------------------|-----------------------------------|
|                    | 45 DEGREES C                | 75 DEGREES C                      | 90 DEGREES C                      |
| 60 DEGREES C       | OK                          | OK<br>AT 60 DEGREES<br>C AMPACITY | OK<br>AT 60 DEGREES<br>C AMPACITY |
| 75 DEGREES C       | NO                          | OK                                | OK<br>AT 75 DEGREES<br>C AMPACITY |
| 90/105 DEGREES C   | OK                          | OK<br>AT 90 DEGREES<br>C AMPACITY | OK<br>AT 90 DEGREES<br>C AMPACITY |
| 90 DEGREES C       | NO                          | NO                                | OK<br>90 DEGREES C RATING         |